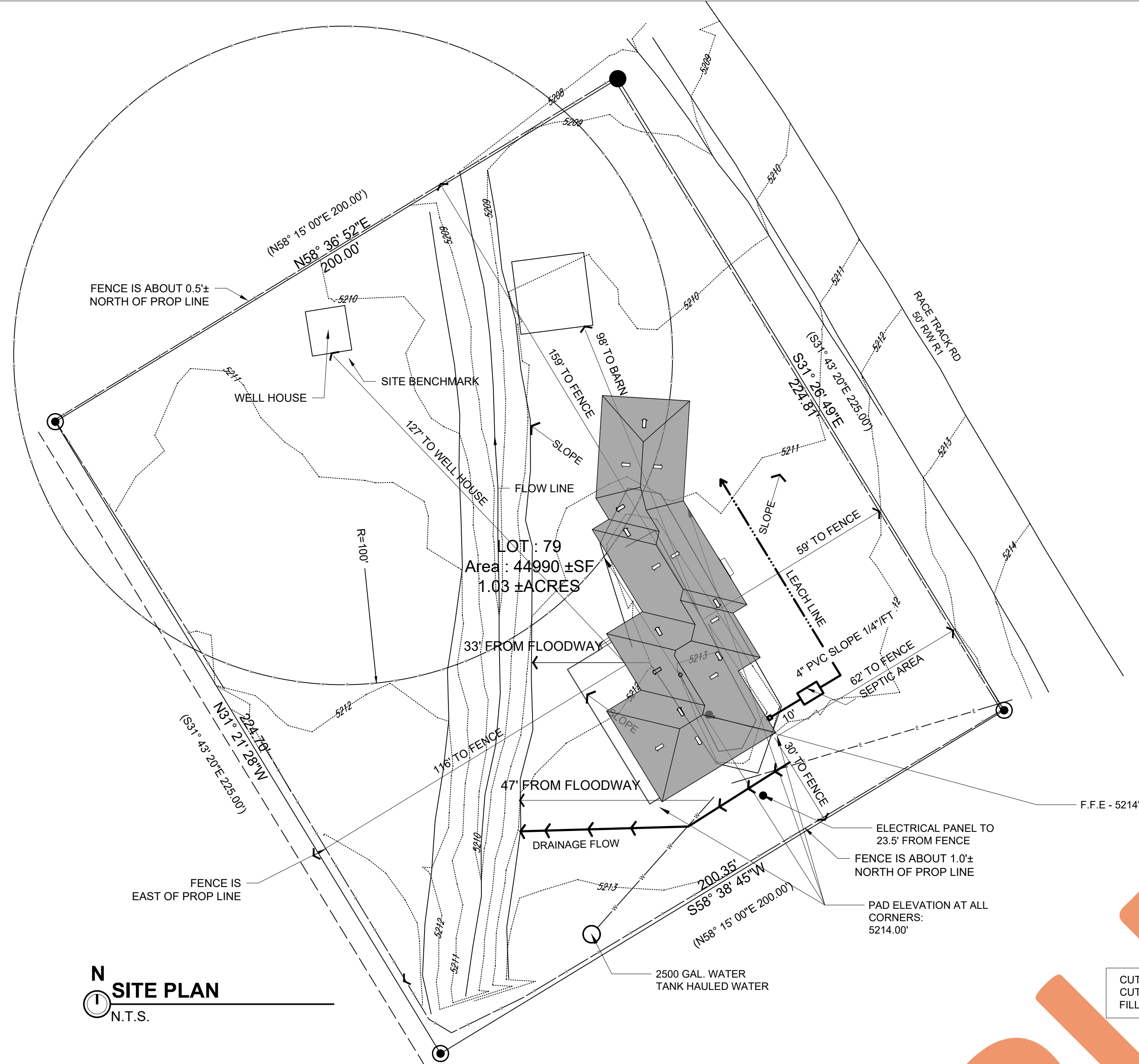


**SITE PLAN**



**N**  
SITE PLAN  
N.T.S.

CUT & FILL AMOUNTS:  
CUT: ZERO C.Y.  
FILL: 27.45 C.Y.

**LEGEND**

- SURVEYED PARCEL LINES
  - EXISTING FENCE
  - PROPERTY LINE
  - - - - EASEMENT LINE
  - - - - - LEACH LINE
  - FOUND 1/2" REBAR WITH CAP LS 12005
  - SET 1/2" REBAR AFFIXED CAP LS 53890
- RECORD BEARING AND DISTANCE PER R1 OR AS NOTED SEE NOTES
- PUBLIC UTILITY EASEMENT

**NOTES**

1. EXISTING BUILDINGS WERE PRESENT AT TIME OF SURVEY
2. A TITLE REPORT WAS NOT PROVIDED NOT ALL EASEMENTS OF RECORD MAY BE SHOWN HEREON
3. DOCUMENTS OF RECORD REFERENCE FOR SURVEY YCRO  
R1: EQUESTRIAN ESTATES 13/94 MAPS

**SITE INFORMATION**

**OWNER INFORMATION**

**BASIS OF BEARING**  
THE PROJECT COORDINATE SYSTEM AND THE BASIS OF BEARINGS ARE RELATIVE TO THE ARIZONA STATE PLANE COORDINATE SYSTEM OF 1983, CENTRAL 0202 ZONE. LINEAR DIMENSIONS AND COORDINATE VALUES ARE IN INTERNATIONAL FEET.

**CERTIFICATION**

**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS, IF NO DIMENSIONS ARE GIVEN CONTACT THE ARCHITECT FOR CLARIFICATION
2. AT LEAST ONE COMPLETE SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS SHALL BE ON SITE. THE SUPERINTENDENT SHALL BE FAMILIAR WITH THE CONTENTS OF THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
3. THESE CONSTRUCTION DOCUMENTS REPRESENT THE DESIGN INTENT OF THE ARCHITECT BASED ON DIMENSIONS OF EXISTING SITE AND/OR FIELD CONDITIONS. ACTUAL CONDITIONS MAY REQUIRE MODIFICATIONS OF THE CONSTRUCTION DETAILS TO ACHIEVE ARCHITECT'S DESIGN INTENT. CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES RELATED TO EXISTING SITE AND/OR FIELD CONDITIONS PRIOR TO CONTINUING ANY WORK.
4. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE INSTALLATION, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. OF THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE WORK PRIOR TO THE APPLICATION AND INSTALLATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE STRUCTURE IS NOT DESIGNED AS A STABLE UNIT UNTIL AFTER ALL COMPONENTS ARE IN PLACE, AND THEREFORE THE CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO INSURE THE STABILITY OF ANY AND ALL PARTS OF THE PROJECT DURING CONSTRUCTION.
5. UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER AND ARCHITECT.
6. SEAL AROUND ALL PLUMBING AND ELECTRICAL PENETRATIONS INTO THE BUILDING ENVELOPE.
7. ALL DETAILS MARKED TYPICAL APPLY TO SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. WHEN NO DETAIL IS SHOWN, CONSTRUCTION IS AS SHOWN FOR SIMILAR CONDITIONS.
8. THE CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE SITE WHENEVER ANY WORK IS BEING PERFORMED.
9. CONTRACTOR IS RESPONSIBLE FOR WATER PROOFING THE ROOF.

**BUILDING CODES**

- ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES.
- 2018 INTERNATIONAL BUILDING CODE
  - 2018 INTERNATIONAL RESIDENTIAL CODE
  - 2018 INTERNATIONAL MECHANICAL CODE
  - 2006 INTERNATIONAL ENERGY CONSERVATION CODE
  - 2018 INTERNATIONAL FIRE CODE
  - 2018 INTERNATIONAL FUEL GAS CODE
  - 2018 INTERNATIONAL PLUMBING CODE
  - 2017 NATIONAL ELECTRICAL CODE

**PROJECT DESCRIPTION**

AREA (TOTAL UNDER ROOF) = 1035 SQUARE FEET.  
AREA (MAIN FLOOR LIVABLE) = 741 SQUARE FEET.  
AREA (COVERED PORCH) = 293.80 SQUARE FEET.

BUILDING HEIGHT (FINISHED GRADE TO RIDGE) = 21'-10 1/2"  
(13'-2 3/4" PLATE HEIGHT TO CEILING)  
STOREYS = 1  
CONSTRUCTION = LP SMART PANEL SIDING, BOARD AND BATTEN FINISH.

**SHEET INDEX**

- A0. COVER AND SITE PLAN
- A1. MAIN FLOOR PLAN
- A2. ROOF PLAN
- A3. ELEVATIONS (FRONT&RIGHT ELEVATION)
- A4. ELEVATIONS (REAR&LEFT ELEVATION)
- A5. SECTIONS
- A6. 3D VIEWS
- P1. PLUMBING SUPPLY PLAN
- P2. PLUMBING DRAIN PLAN
- E1. ELECTRICAL PLAN
- S1. FOUNDATION PLAN
- S2. BRACING WALL PLAN
- S3. FLOOR FRAMING PLAN (DECK)
- S4. ROOF FRAMING PLAN
- S5. TYP DETAILS
- N1. GENERAL NOTES

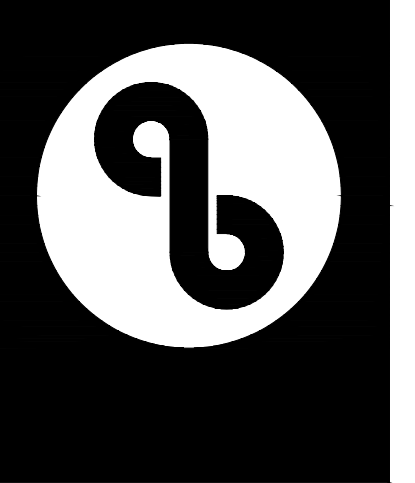
**PROJECT SUMMARY**

**CHAMBERS RESIDENCE**

**SITE ADDRESS:**  
**OWNER:**  
**PERMIT NUMBER:**  
**PERMIT TYPE:** NEW RESIDENCE  
**WORK DESCRIPTION:** SINGLE FAMILY RESIDENCE 1 BEDROOM SITE BUILT  
**PARCEL NUMBER:**

**LOCATION**

**VICINITY MAP**



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N	REVISION	DATE

**PROJECT**  
**CHAMBERS RESIDENCE**

**OWNER**

**ADDRESS**

**CONTENT**  
COVER SHEET

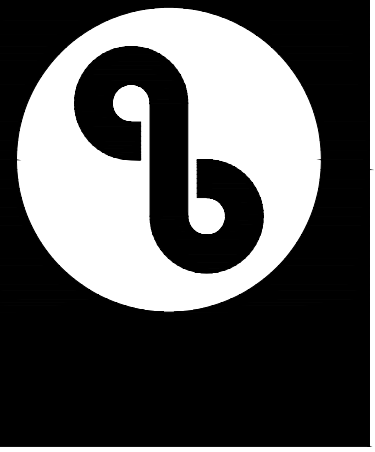
**SCALE**  
AS SHOWN

**DRAWN BY**  
AB

**DATE**  
02/14/24

**PROJECT #**  
-

**A0**



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N	REVISION	DATE

PROJECT  
**CHAMBERS RESIDENCE**  
ADDRESS

OWNER

CONTENT  
**MAIN FLOOR PLAN**

SCALE  
1/4" = 1'-0"

DRAWN BY  
AB

DATE  
02/14/24

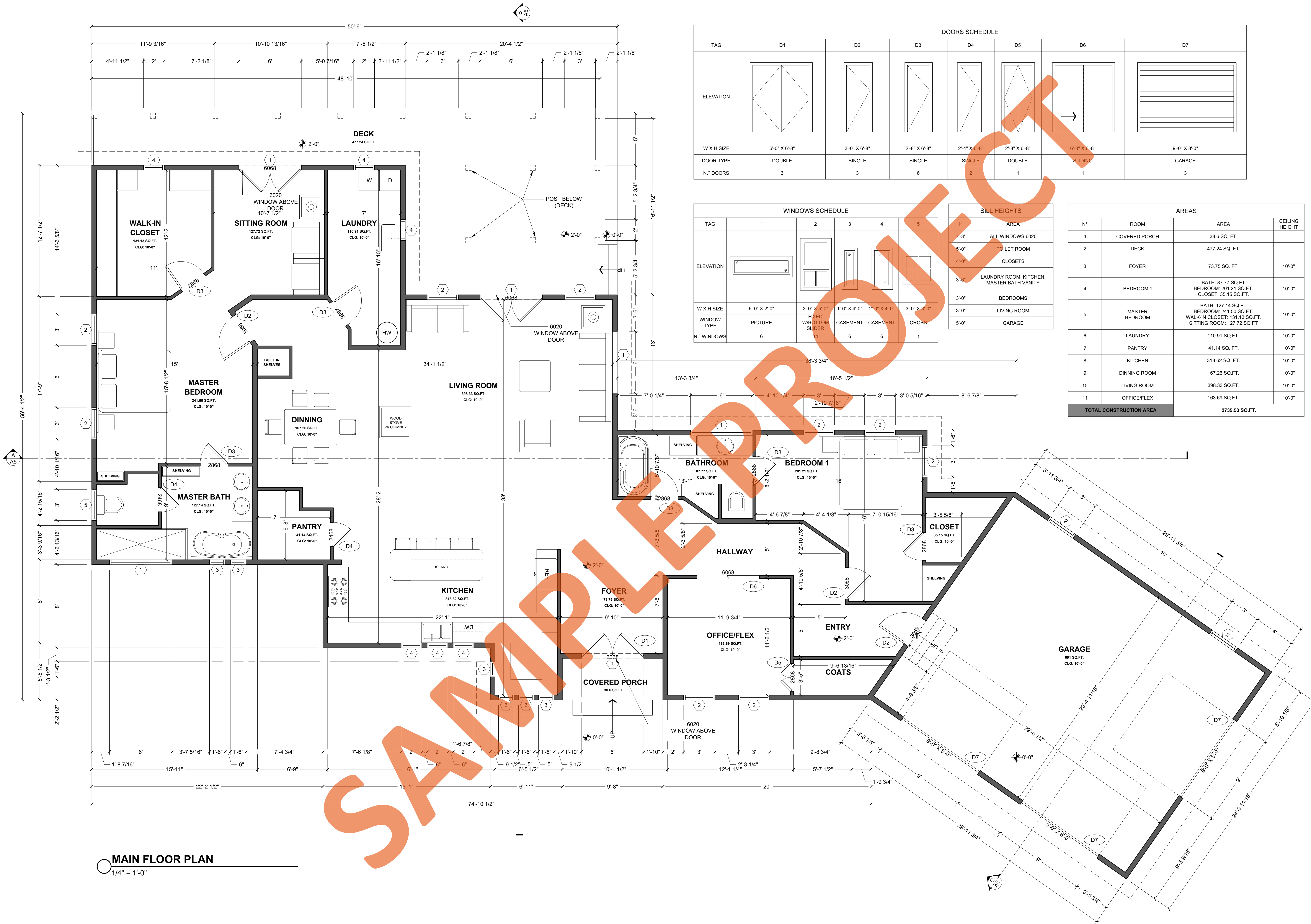
PROJECT #

**A1**

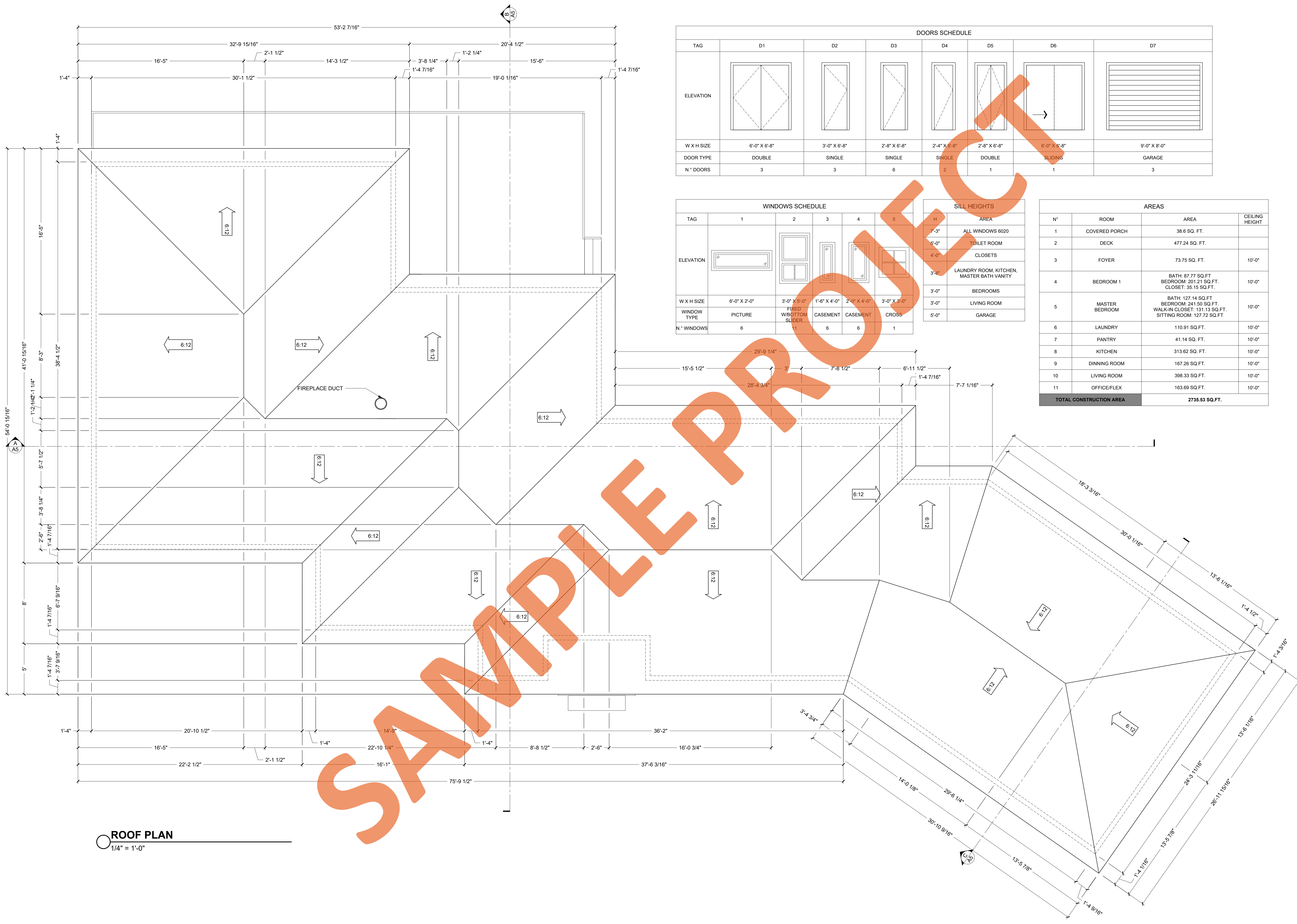
DOORS SCHEDULE							
TAG	D1	D2	D3	D4	D5	D6	D7
ELEVATION							
W X H SIZE	6'-0" X 6'-8"	3'-0" X 6'-8"	2'-8" X 6'-8"	2'-4" X 6'-8"	2'-8" X 6'-8"	6'-0" X 6'-8"	9'-0" X 8'-0"
DOOR TYPE	DOUBLE	SINGLE	SINGLE	SINGLE	DOUBLE	SLIDING	GARAGE
N° DOORS	3	3	6	2	1	1	3

WINDOWS SCHEDULE						SILL HEIGHTS	
TAG	1	2	3	4	5	H	AREA
ELEVATION						7'-3"	ALL WINDOWS 6020
W X H SIZE	6'-0" X 2'-0"	3'-0" X 5'-0"	1'-6" X 4'-0"	2'-0" X 4'-0"	3'-0" X 3'-0"	5'-0"	TOILET ROOM
WINDOW TYPE	PICTURE	FIXED W/BOTTOM SLIDER	CASEMENT	CASEMENT	CROSS	4'-0"	CLOSETS
N° WINDOWS	6	11	6	6	1	3'-6"	LAUNDRY ROOM, KITCHEN, MASTER BATH VANITY
						3'-0"	BEDROOMS
						3'-0"	LIVING ROOM
						5'-0"	GARAGE

AREAS			
N°	ROOM	AREA	CEILING HEIGHT
1	COVERED PORCH	38.6 SQ. FT.	
2	DECK	477.24 SQ. FT.	
3	FOYER	73.75 SQ. FT.	10'-0"
4	BEDROOM 1	BATH: 87.77 SQ. FT. BEDROOM: 201.21 SQ. FT. CLOSET: 35.15 SQ. FT.	10'-0"
5	MASTER BEDROOM	BATH: 127.14 SQ. FT. BEDROOM: 241.50 SQ. FT. WALK-IN CLOSET: 131.13 SQ. FT. SITTING ROOM: 127.72 SQ. FT.	10'-0"
6	LAUNDRY	110.91 SQ. FT.	10'-0"
7	PANTRY	41.14 SQ. FT.	10'-0"
8	KITCHEN	313.62 SQ. FT.	10'-0"
9	DINNING ROOM	167.26 SQ. FT.	10'-0"
10	LIVING ROOM	398.33 SQ. FT.	10'-0"
11	OFFICE/FLEX	163.89 SQ. FT.	10'-0"
<b>TOTAL CONSTRUCTION AREA</b>		<b>2735.53 SQ. FT.</b>	



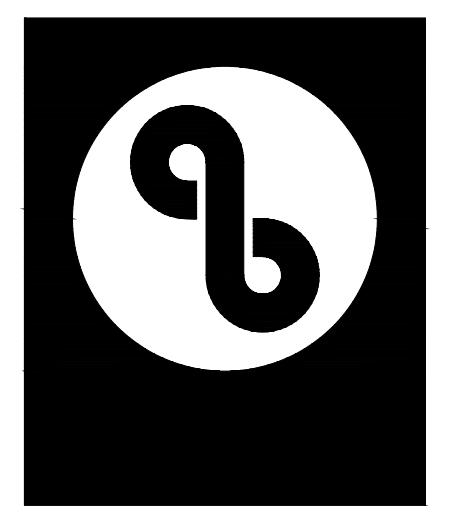
**MAIN FLOOR PLAN**  
1/4" = 1'-0"



DOORS SCHEDULE							
TAG	D1	D2	D3	D4	D5	D6	D7
ELEVATION							
W X H SIZE	6'-0" X 6'-8"	3'-0" X 6'-8"	2'-8" X 6'-8"	2'-4" X 6'-8"	2'-8" X 6'-8"	6'-0" X 6'-8"	9'-0" X 8'-0"
DOOR TYPE	DOUBLE	SINGLE	SINGLE	SINGLE	DOUBLE	SLIDING	GARAGE
N° DOORS	3	3	6	2	1	1	3

WINDOWS SCHEDULE					SILL HEIGHTS	
TAG	1	2	3	4	5	AREA
ELEVATION						
W X H SIZE	6'-0" X 2'-0"	3'-0" X 5'-0"	1'-6" X 4'-0"	2'-0" X 4'-0"	3'-0" X 3'-0"	
WINDOW TYPE	PICTURE	FIXED W/BOTTOM SLIDER	CASEMENT	CASEMENT	CROSS	
N° WINDOWS	6	11	6	6	1	

AREAS			
N°	ROOM	AREA	CEILING HEIGHT
1	COVERED PORCH	38.6 SQ. FT.	
2	DECK	477.24 SQ. FT.	
3	FOYER	73.75 SQ. FT.	10'-0"
4	BEDROOM 1	BATH: 87.77 SQ. FT. BEDROOM: 201.21 SQ. FT. CLOSET: 35.15 SQ. FT.	10'-0"
5	MASTER BEDROOM	BATH: 127.14 SQ. FT. BEDROOM: 241.50 SQ. FT. WALK-IN CLOSET: 131.13 SQ. FT. SITTING ROOM: 127.72 SQ. FT.	10'-0"
6	LAUNDRY	110.91 SQ. FT.	10'-0"
7	PANTRY	41.14 SQ. FT.	10'-0"
8	KITCHEN	313.62 SQ. FT.	10'-0"
9	DINNING ROOM	167.26 SQ. FT.	10'-0"
10	LIVING ROOM	398.33 SQ. FT.	10'-0"
11	OFFICE/FLEX	163.89 SQ. FT.	10'-0"
<b>TOTAL CONSTRUCTION AREA</b>		<b>2735.53 SQ. FT.</b>	

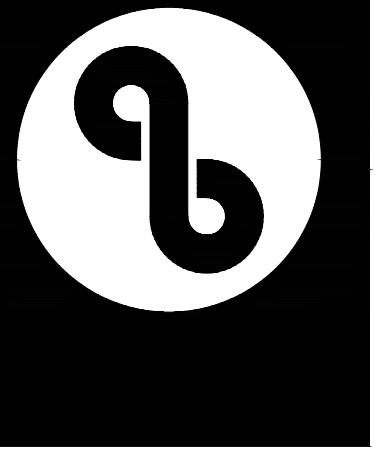


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N	REVISION	DATE

PROJECT: **CHAMBERS RESIDENCE**  
 ADDRESS: \_\_\_\_\_  
 OWNER: \_\_\_\_\_  
 CONTENT: **ROOF PLAN**  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: **AB**  
 DATE: 02/14/24  
 PROJECT #: \_\_\_\_\_

**A2**



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N	REVISION	DATE

PROJECT  
**CHAMBERS RESIDENCE**  
ADDRESS

OWNER

CONTENT  
FRONT&RIGHT ELEV.

SCALE  
1/4" = 1'-0"

DRAWN BY  
AB

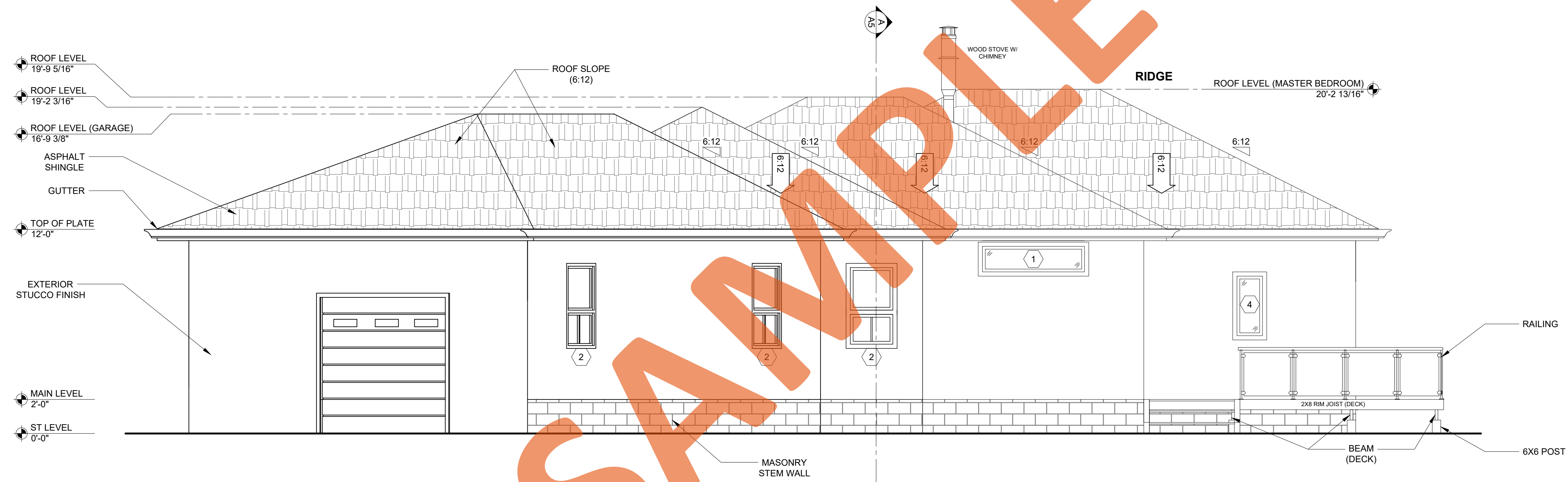
DATE  
02/14/24

PROJECT #  
-

**A3**

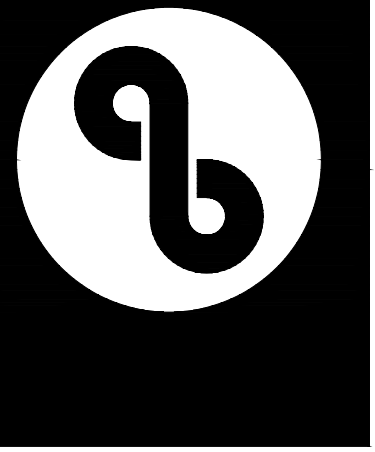


**FRONT ELEVATION**  
1/4" = 1'-0"



**RIGHT ELEVATION**  
1/4" = 1'-0"

SAMPLE PROJECT



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N	REVISION	DATE

PROJECT  
**CHAMBERS RESIDENCE**  
ADDRESS

OWNER

CONTENT  
REAR&LEFT ELEV.

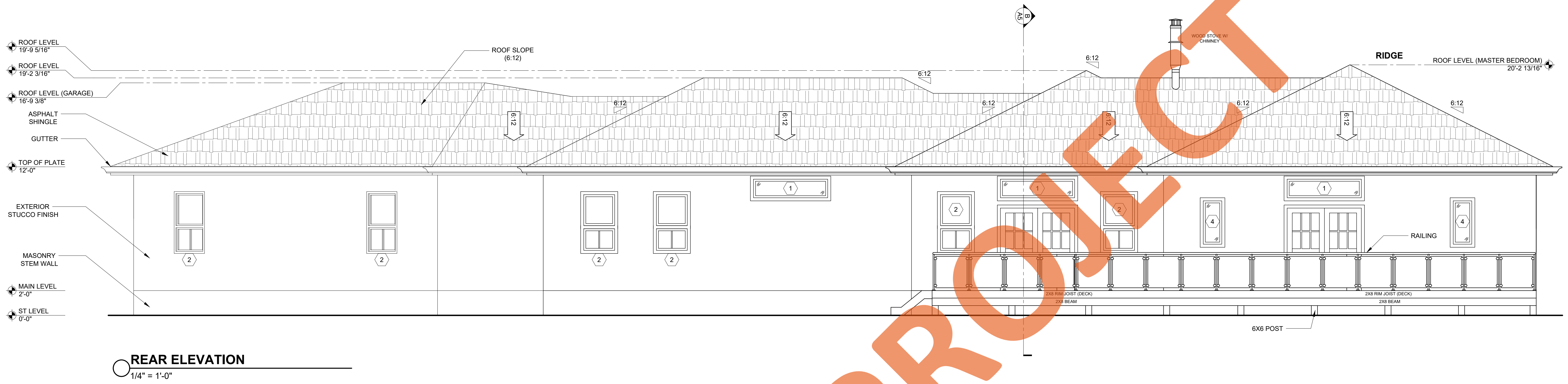
SCALE  
1/4" = 1'-0"

DRAWN BY  
AB

DATE  
02/14/24

PROJECT #  
-

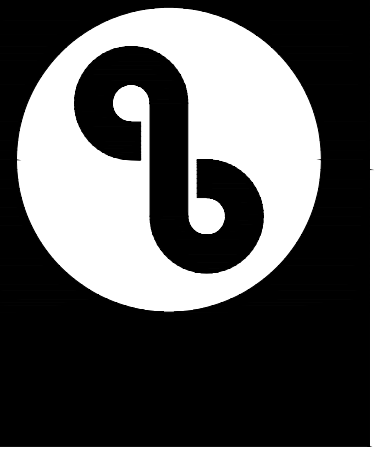
**A4**



**REAR ELEVATION**  
1/4" = 1'-0"



**LEFT ELEVATION**  
1/4" = 1'-0"

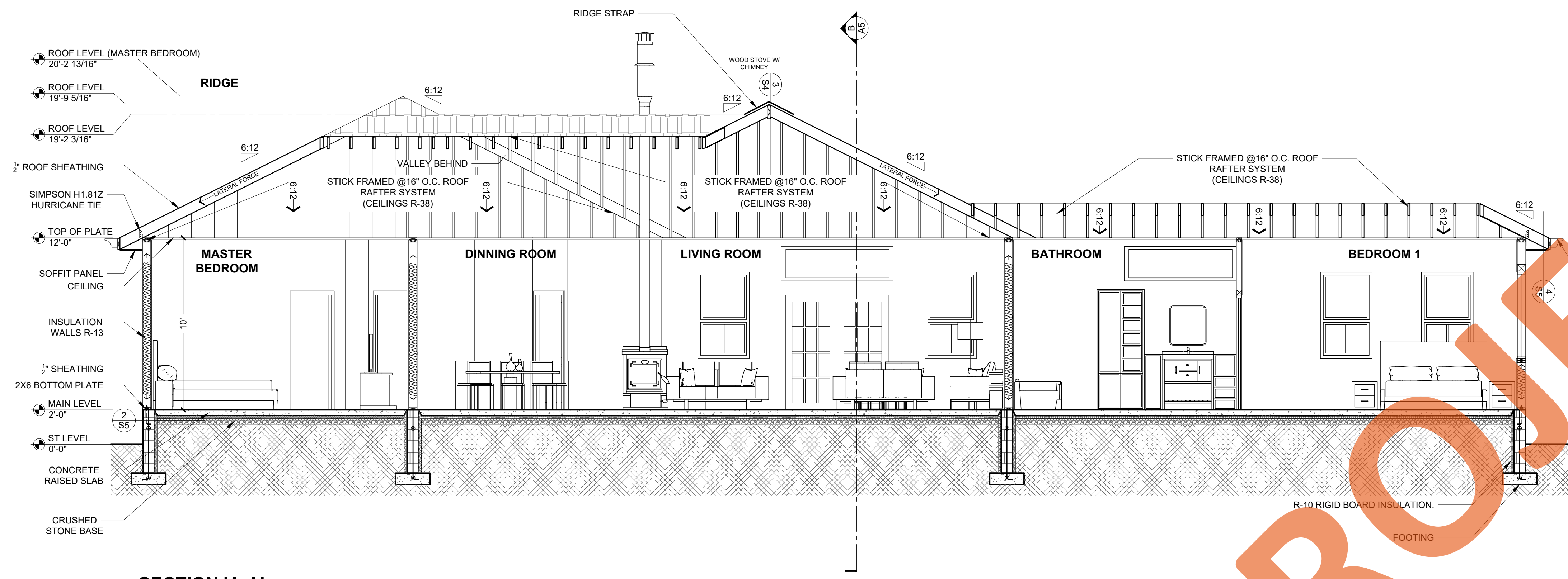


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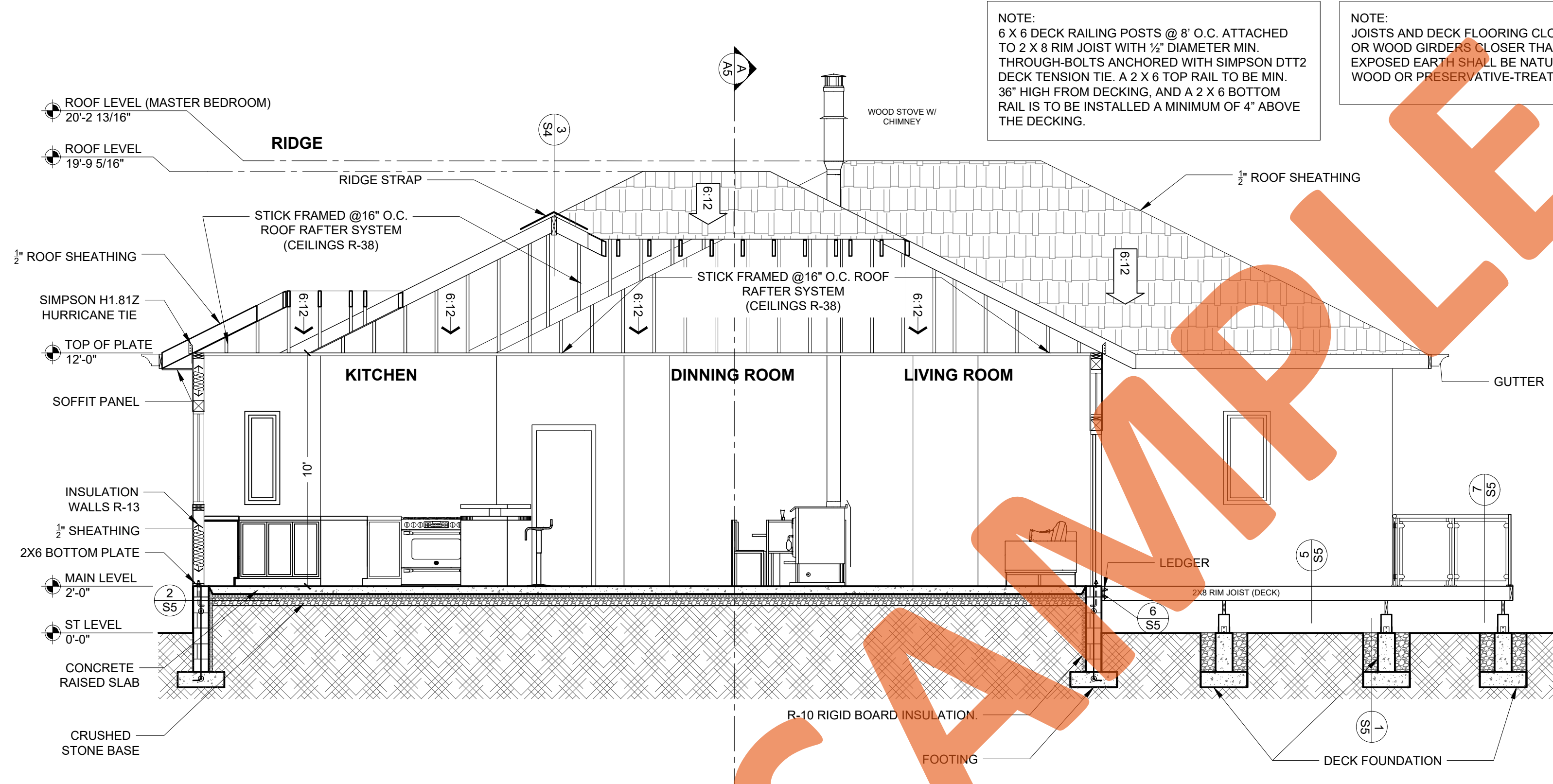
N	REVISION	DATE

PROJECT <b>CHAMBERS RESIDENCE</b>	OWNER
	ADDRESS
CONTENT SECTIONS	
SCALE 1/4" = 1'-0"	
DRAWN BY AB	
DATE 02/14/24	
PROJECT #	

**A5**



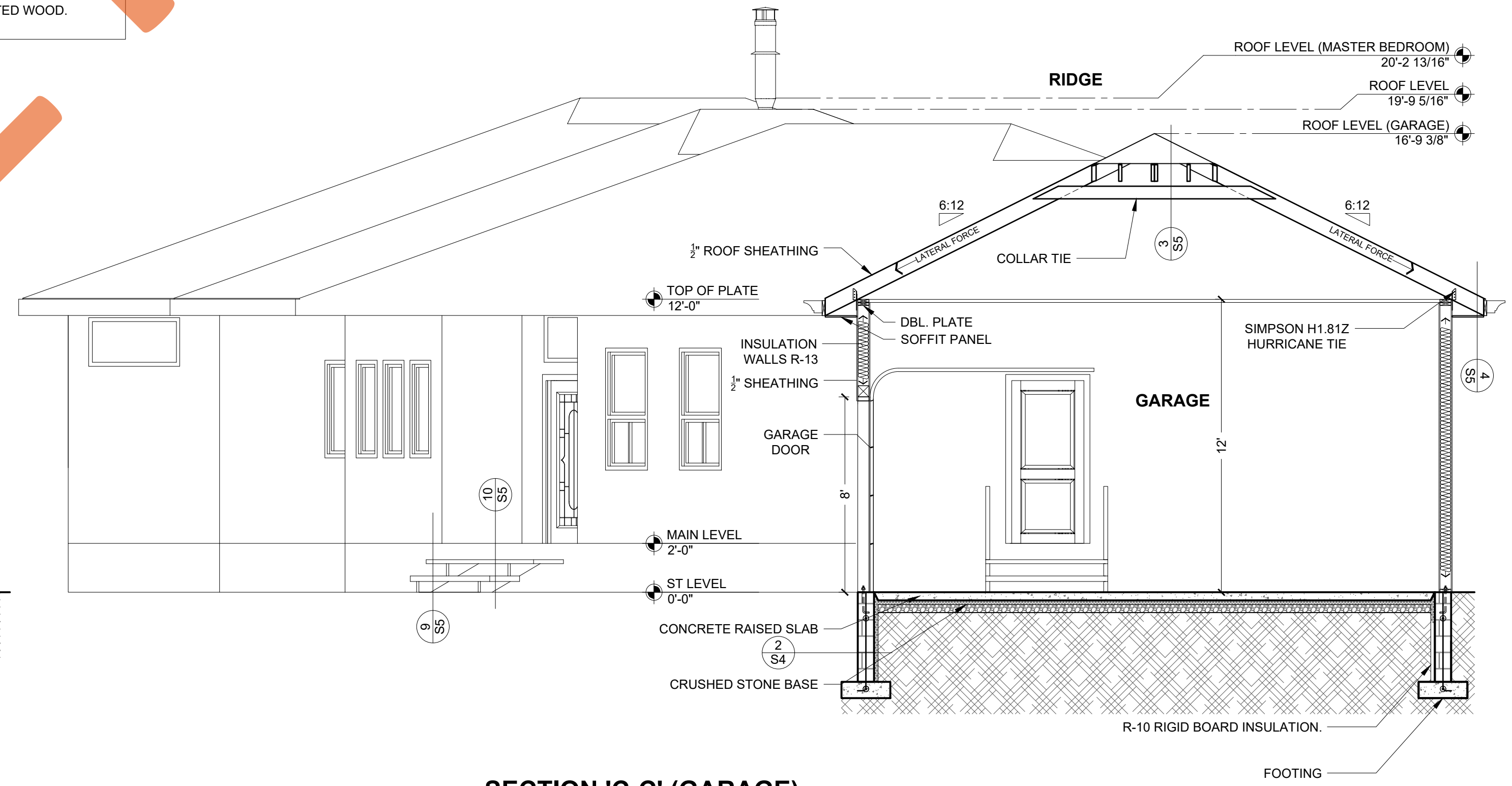
**SECTION 'A-A'**  
1/4" = 1'-0"



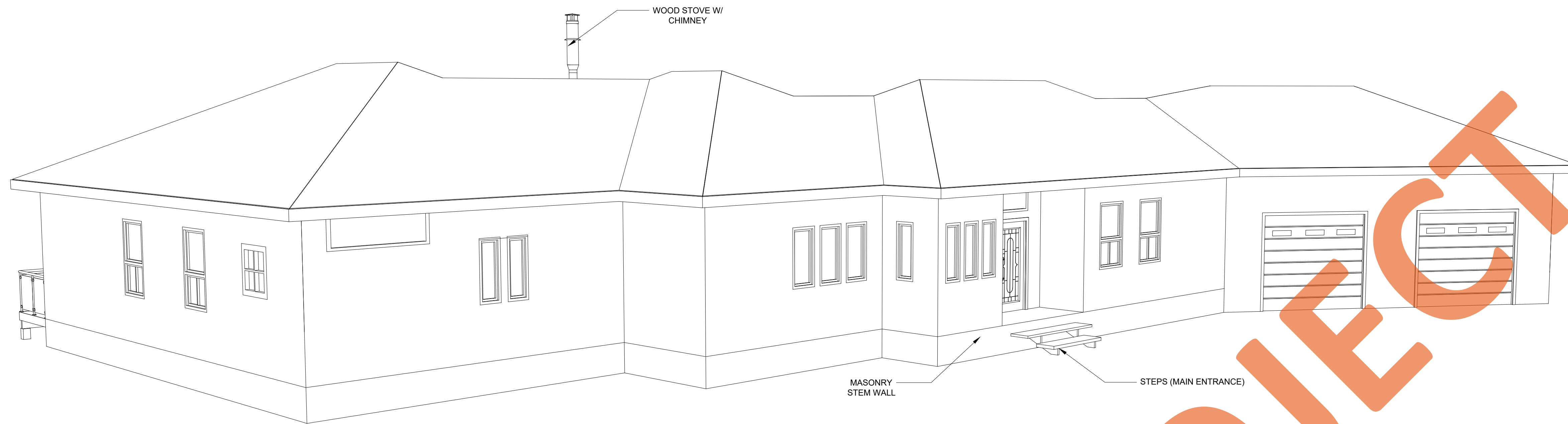
**SECTION 'B-B'**  
1/4" = 1'-0"

NOTE:  
6 X 6 DECK RAILING POSTS @ 8' O.C. ATTACHED TO 2 X 8 RIM JOIST WITH 1/2" DIAMETER MIN. THROUGH-BOLTS ANCHORED WITH SIMPSON DTT2 DECK TENSION TIE. A 2 X 6 TOP RAIL TO BE MIN. 36" HIGH FROM DECKING, AND A 2 X 6 BOTTOM RAIL IS TO BE INSTALLED A MINIMUM OF 4" ABOVE THE DECKING.

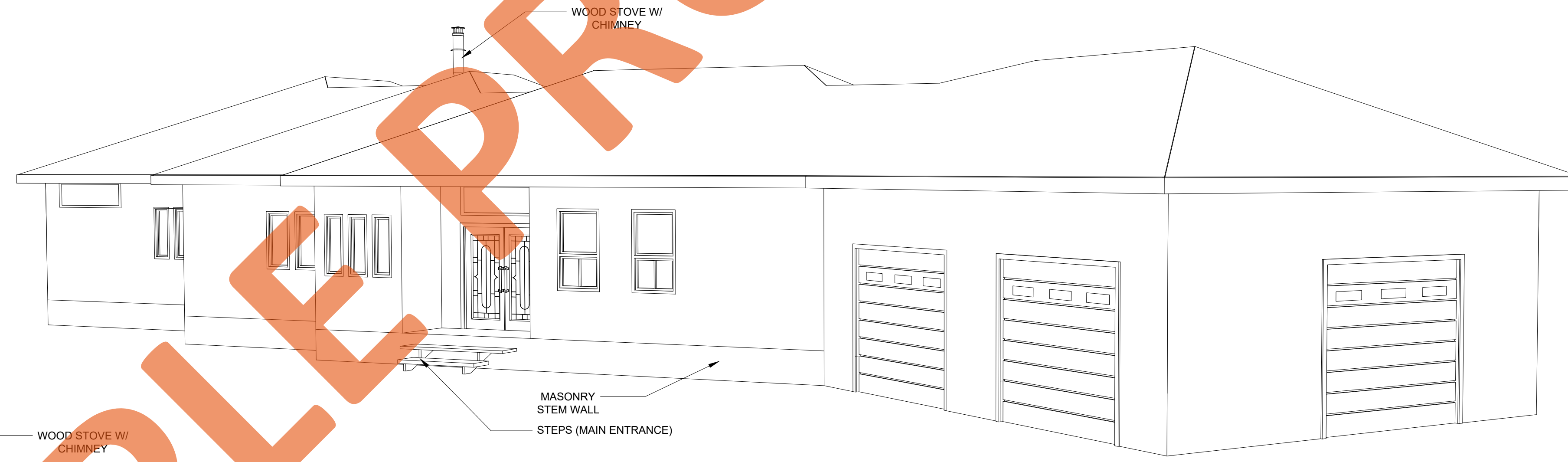
NOTE:  
JOISTS AND DECK FLOORING CLOSER THAN 18" OR WOOD GIRDERS CLOSER THAN 12" TO EXPOSED EARTH SHALL BE NATURALLY DURABLE WOOD OR PRESERVATIVE-TREATED WOOD.



**SECTION 'C-C' (GARAGE)**  
1/4" = 1'-0"



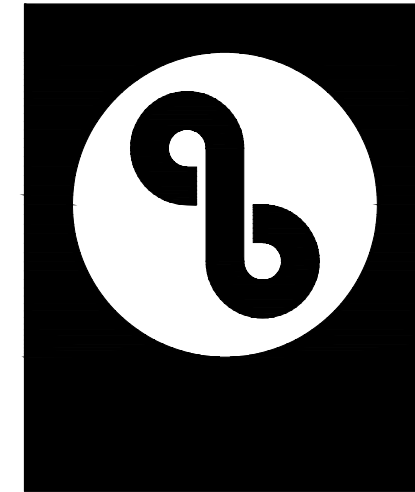
**3D VIEW B**  
1/4" = 1'-0"



**3D VIEW A**  
1/4" = 1'-0"



**3D VIEW C**  
1/4" = 1'-0"



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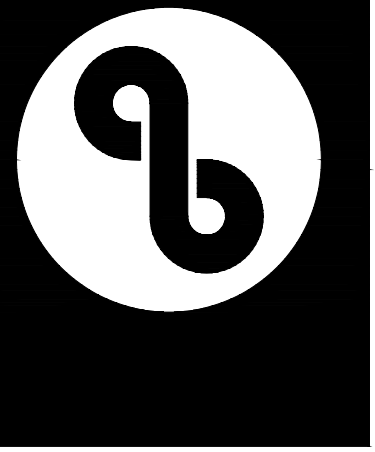
N	REVISION	DATE

PROJECT  
**CHAMBERS RESIDENCE**

ADDRESS

OWNER
CONTENT 3D VIEWS
SCALE N.T.S.
DRAWN BY AB
DATE 02/14/24
PROJECT # -

**A6**



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N	REVISION	DATE

PROJECT  
**CHAMBERS RESIDENCE**

ADDRESS

OWNER

CONTENT  
SUPPLY P. (AS SHOWN)

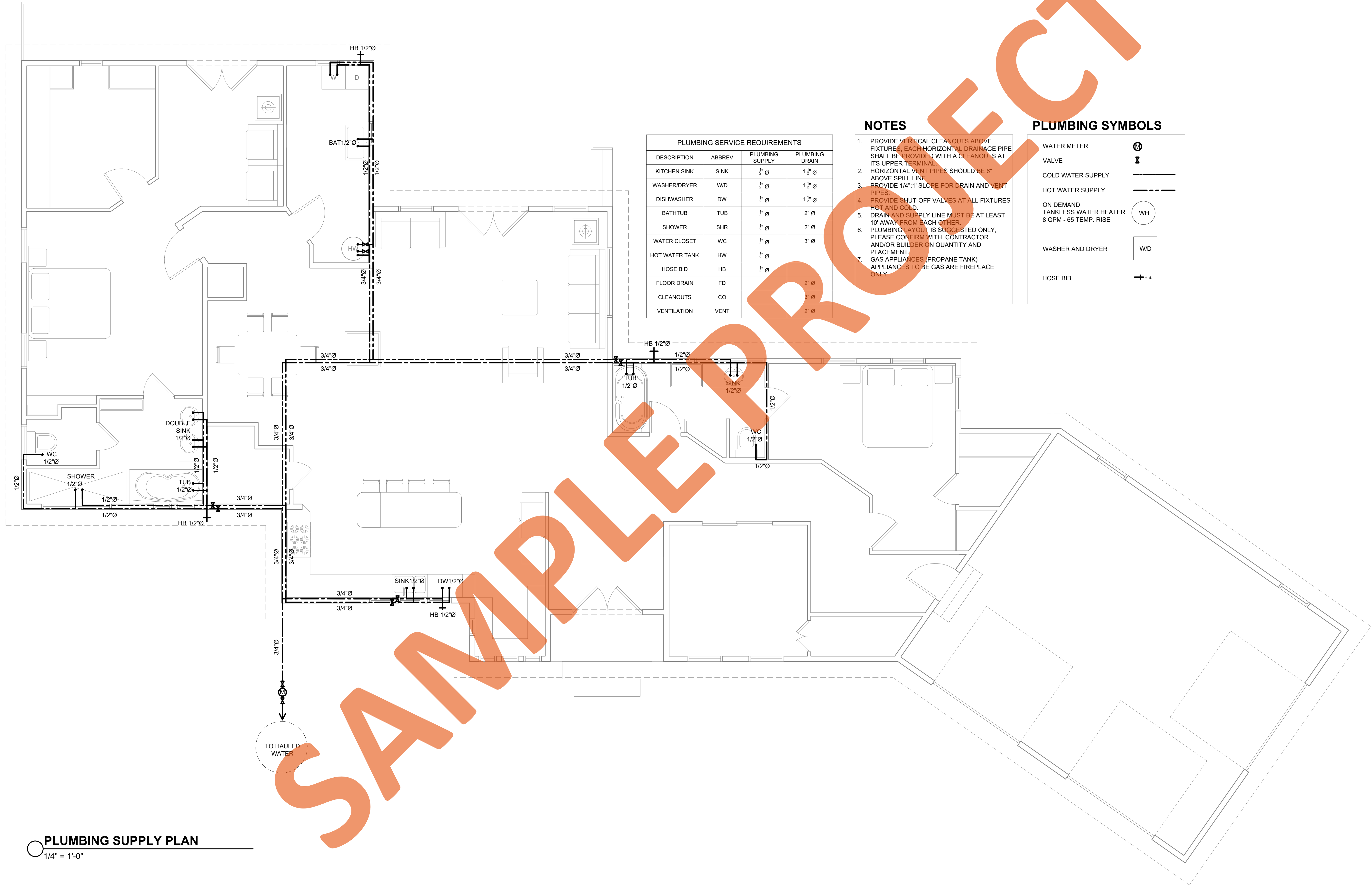
SCALE  
1/4" = 1'-0"

DRAWN BY  
AB

DATE  
02/14/24

PROJECT #

**P1**



PLUMBING SERVICE REQUIREMENTS			
DESCRIPTION	ABBREV	PLUMBING SUPPLY	PLUMBING DRAIN
KITCHEN SINK	SINK	1/2" Ø	1 1/2" Ø
WASHER/DRYER	WD	1/2" Ø	1 1/2" Ø
DISHWASHER	DW	1/2" Ø	1 1/2" Ø
BATHTUB	TUB	1/2" Ø	2" Ø
SHOWER	SHR	1/2" Ø	2" Ø
WATER CLOSET	WC	1/2" Ø	3" Ø
HOT WATER TANK	HW	1/2" Ø	
HOSE BID	HB	1/2" Ø	
FLOOR DRAIN	FD		2" Ø
CLEANOUTS	CO		3" Ø
VENTILATION	VENT		2" Ø

**NOTES**

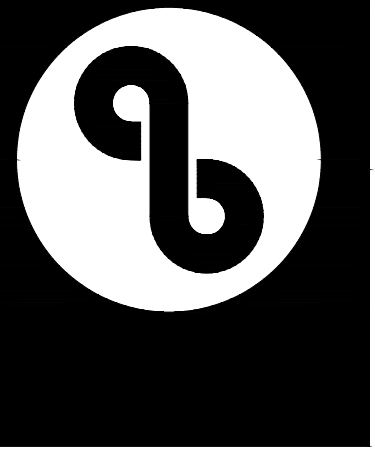
1. PROVIDE VERTICAL CLEANOUTS ABOVE FIXTURES. EACH HORIZONTAL DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUTS AT ITS UPPER TERMINAL.
2. HORIZONTAL VENT PIPES SHOULD BE 6" ABOVE SPILL LINE.
3. PROVIDE 1/4" : 1" SLOPE FOR DRAIN AND VENT PIPES.
4. PROVIDE SHUT-OFF VALVES AT ALL FIXTURES HOT AND COLD.
5. DRAIN AND SUPPLY LINE MUST BE AT LEAST 10' AWAY FROM EACH OTHER.
6. PLUMBING LAYOUT IS SUGGESTED ONLY. PLEASE CONFIRM WITH CONTRACTOR AND/OR BUILDER ON QUANTITY AND PLACEMENT.
7. GAS APPLIANCES (PROPANE TANK) APPLIANCES TO BE GAS ARE FIREPLACE ONLY.

**PLUMBING SYMBOLS**

WATER METER	
VALVE	
COLD WATER SUPPLY	
HOT WATER SUPPLY	
ON DEMAND TANKLESS WATER HEATER 8 GPM - 65 TEMP. RISE	
WASHER AND DRYER	
HOSE BIB	

**PLUMBING SUPPLY PLAN**  
1/4" = 1'-0"





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PROJECT  
**CHAMBERS RESIDENCE**

OWNER

CONTENT  
DRAIN P. (AS SHOWN)

SCALE  
1/4" = 1'-0"

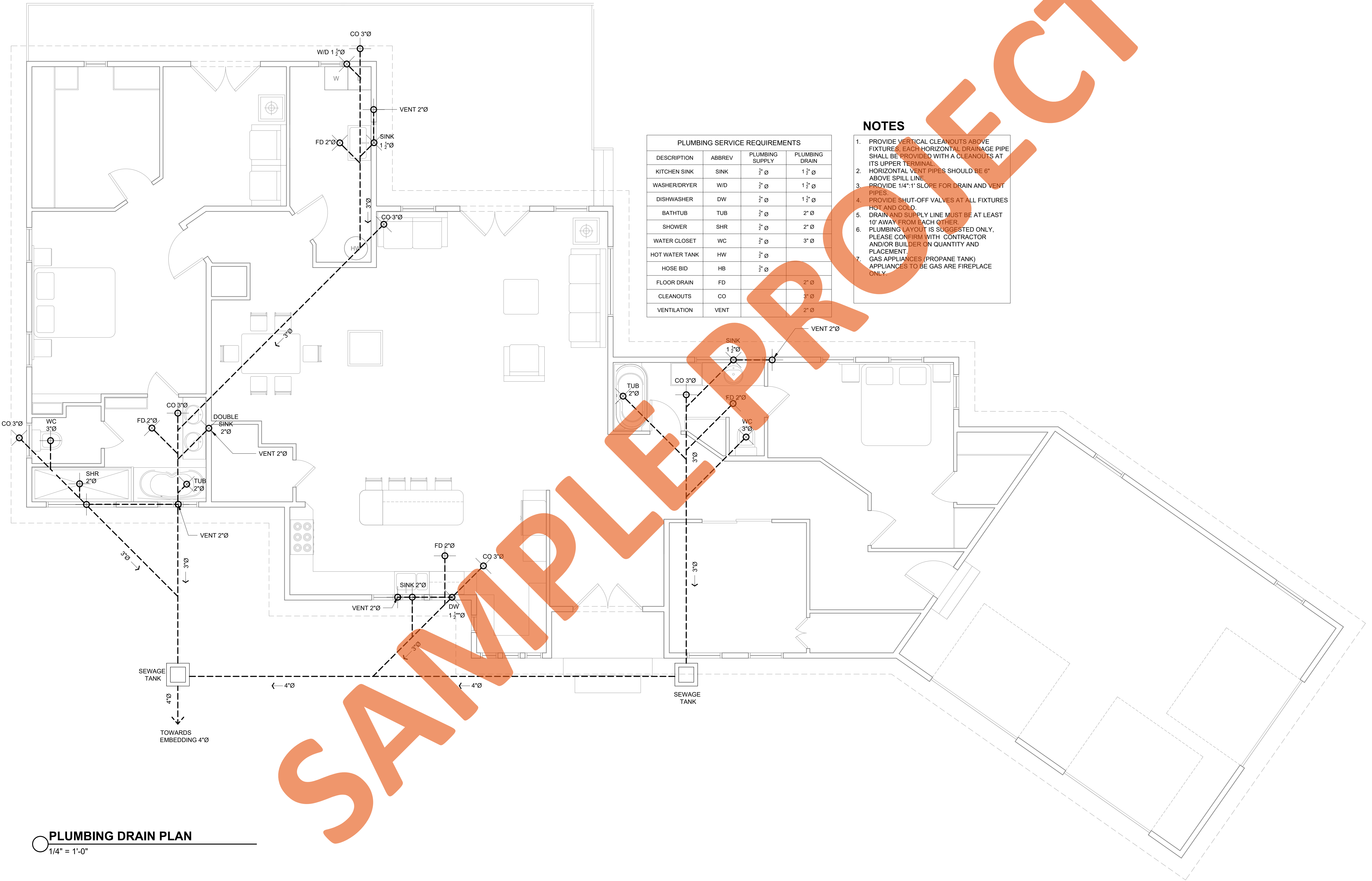
DRAWN BY  
AB

DATE  
02/14/24

PROJECT #

ADDRESS

**P2**

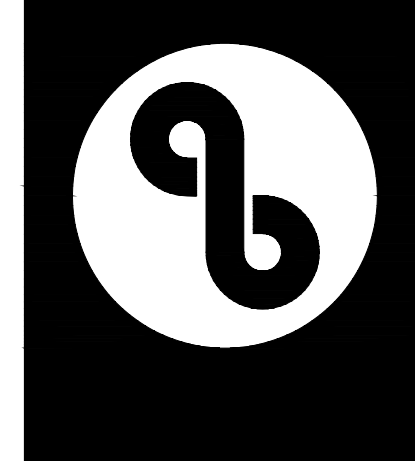


**PLUMBING SERVICE REQUIREMENTS**

DESCRIPTION	ABBREV	PLUMBING SUPPLY	PLUMBING DRAIN
KITCHEN SINK	SINK	1/2" Ø	1 1/2" Ø
WASHER/DRYER	WD	1/2" Ø	1 1/2" Ø
DISHWASHER	DW	1/2" Ø	1 1/2" Ø
BATHTUB	TUB	1/2" Ø	2" Ø
SHOWER	SHR	1/2" Ø	2" Ø
WATER CLOSET	WC	1/2" Ø	3" Ø
HOT WATER TANK	HW	1/2" Ø	
HOSE BID	HB	1/2" Ø	
FLOOR DRAIN	FD		2" Ø
CLEANOUTS	CO		3" Ø
VENTILATION	VENT		2" Ø

- NOTES**
1. PROVIDE VERTICAL CLEANOUTS ABOVE FIXTURES. EACH HORIZONTAL DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUTS AT ITS UPPER TERMINAL.
  2. HORIZONTAL VENT PIPES SHOULD BE 6" ABOVE SPILL LINE.
  3. PROVIDE 1/4" : 1" SLOPE FOR DRAIN AND VENT PIPES.
  4. PROVIDE SHUT-OFF VALVES AT ALL FIXTURES HOT AND COLD.
  5. DRAIN AND SUPPLY LINE MUST BE AT LEAST 10' AWAY FROM EACH OTHER.
  6. PLUMBING LAYOUT IS SUGGESTED ONLY. PLEASE CONFIRM WITH CONTRACTOR AND/OR BUILDER ON QUANTITY AND PLACEMENT.
  7. GAS APPLIANCES (PROPANE TANK) APPLIANCES TO BE GAS ARE FIREPLACE ONLY.

**PLUMBING DRAIN PLAN**  
1/4" = 1'-0"



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N	REVISION	DATE

PROJECT  
**CHAMBERS RESIDENCE**

OWNER

CONTENT  
ELECTRICAL PLAN

SCALE  
1/4" = 1'-0"

DRAWN BY  
AB

DATE  
02/14/24

PROJECT #  
-

E1

PRINT SIZE: ARCH D 24X36

**ELECTRICAL LEGEND**

NOTE: PLEASE CHECK ELECTRICAL PLAN WITH LIGHTING CONTRACTOR.

- SWITCH
- SWITCH DOUBLE
- SWITCH TRIPLE
- 110V OUTLET
- 220V OUTLET
- WEATHER-PROOF OUTLET
- GROUND-FAULT-OUTLET
- TELEPHONE OUTLET
- CABLE T.V. OUTLET
- DOOR CHIME
- THERMOSTAT
- SMOKE DETECTOR
- CARBON MONOXIDE ALARM
- VACUUM OUTLET
- R.I. VACUUM OUTLET
- HOSE BIB
- LAUNDRY TAPS
- LIGHT FIXTURE
- POT LIGHT FIXTURE
- PUCK LIGHT FIXTURE
- MARINE LIGHT FIXTURE
- PENDANT LIGHT
- CAN LIGHT
- EXHAUST FAN
- CHIMNEY FLUE
- ELECTRICAL PANEL
- ELECTRICAL CIRCUIT

NOTE:  
ALL OUTLETS WILL BE "AFCI" EXCEPT THOSE ON THE COUNTERTOP IN THE KITCHEN AND IN THE BATHROOM WHICH MUST BE "GFCI".

MINIMUM OF TWO (2) 20 AMP GFCI PROTECTED CIRCUITS ARE PROVIDED FOR SMALL APPLIANCES IN THE KITCHEN/DINING ROOM.

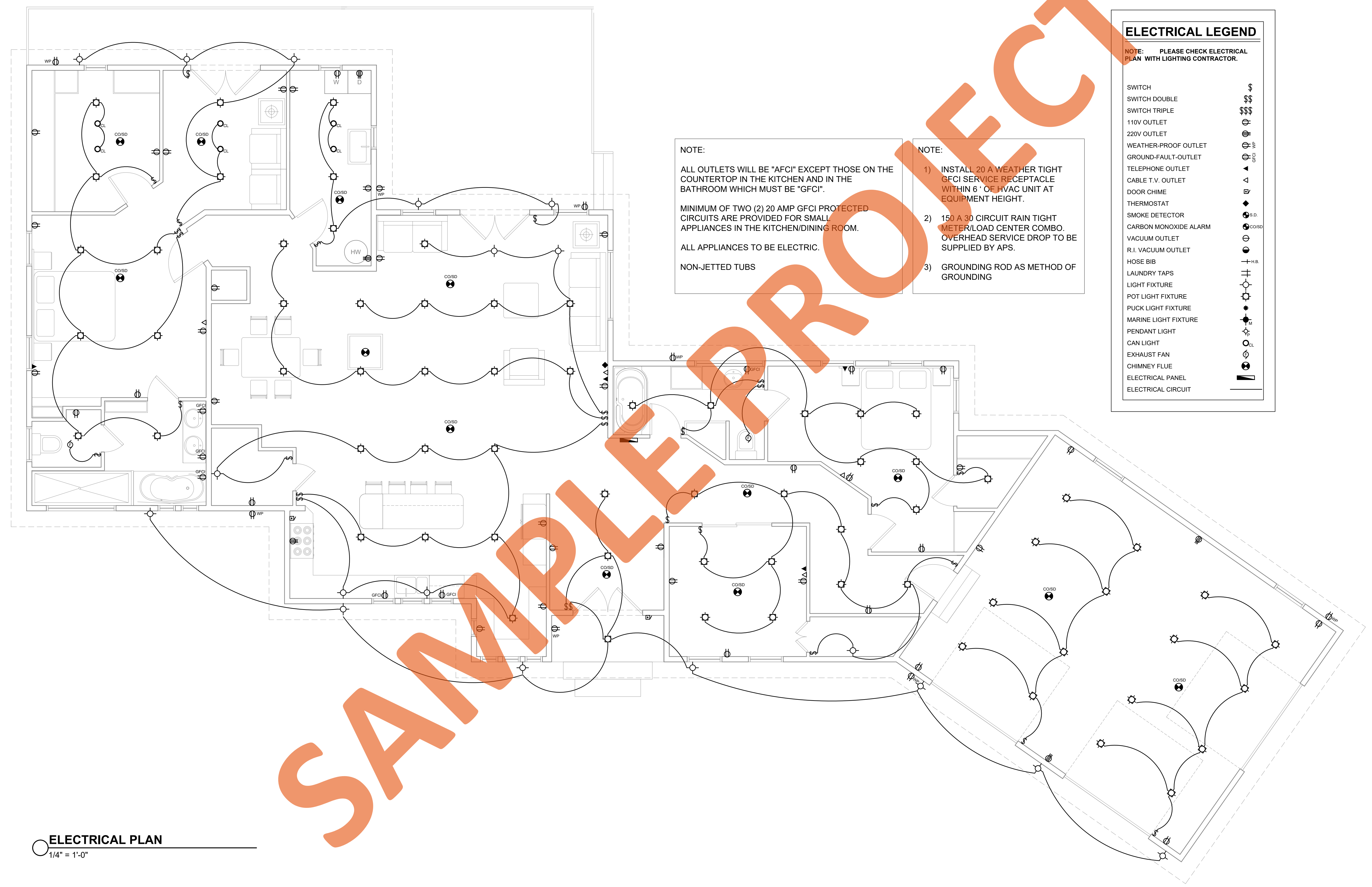
ALL APPLIANCES TO BE ELECTRIC.

NON-JETTED TUBS

NOTE:  
1) INSTALL 20 A WEATHER TIGHT GFCI SERVICE RECEPTACLE WITHIN 6' OF HVAC UNIT AT EQUIPMENT HEIGHT.

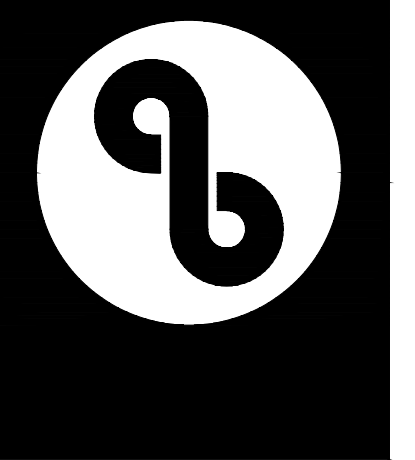
2) 150 A 30 CIRCUIT RAIN TIGHT METER/LOAD CENTER COMBO. OVERHEAD SERVICE DROP TO BE SUPPLIED BY APS.

3) GROUNDING ROD AS METHOD OF GROUNDING



**ELECTRICAL PLAN**  
1/4" = 1'-0"





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CONTENT  
BRACING WALL PLAN

SCALE  
1/4" = 1'-0"

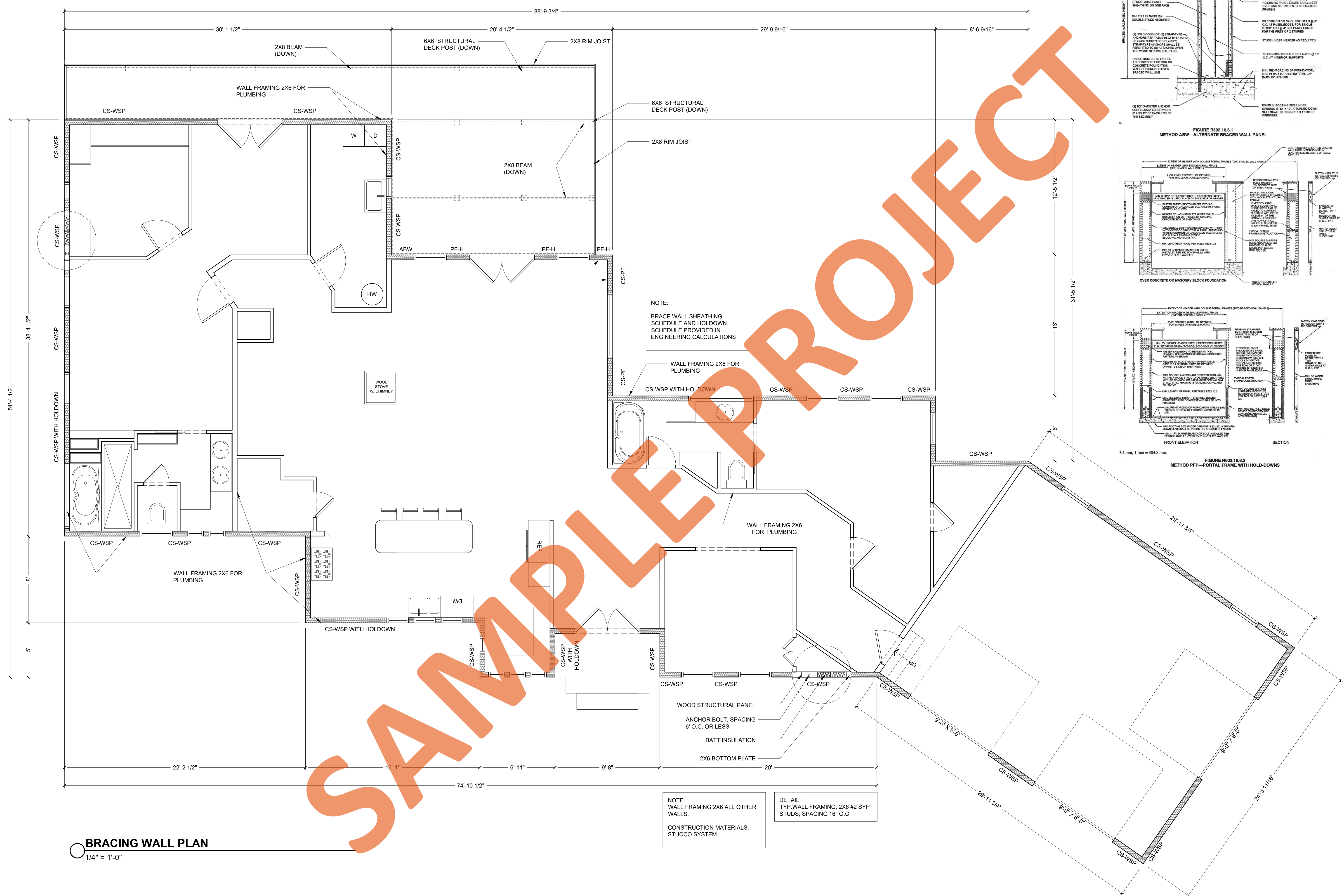
DRAWN BY  
AB

DATE  
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**S2**

PRINT SIZE: ARCH D 24X36

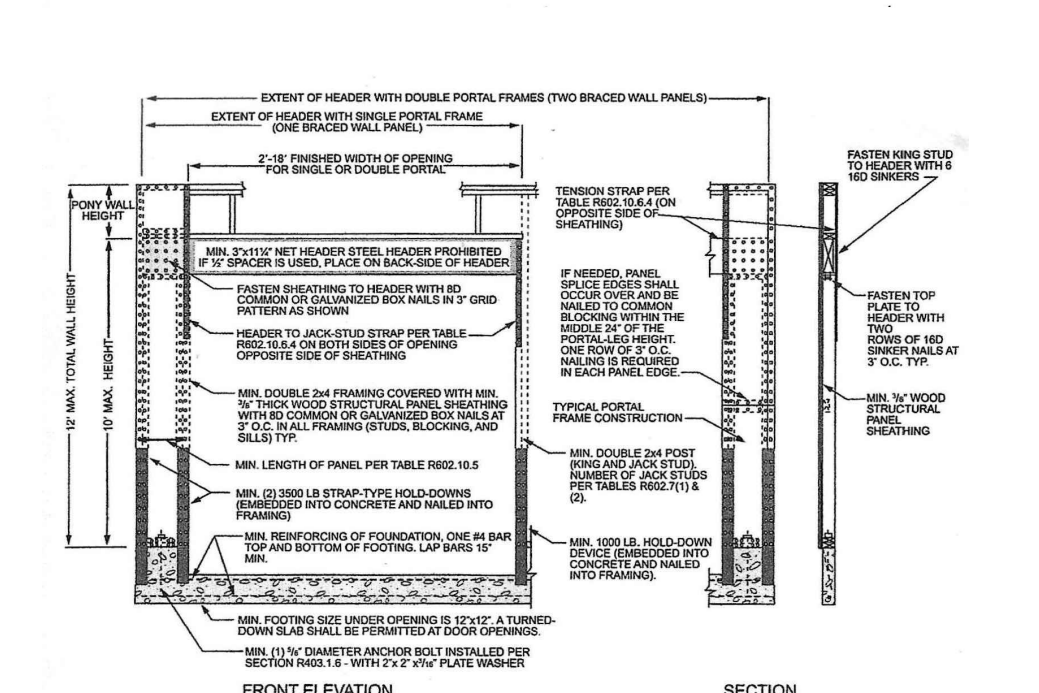
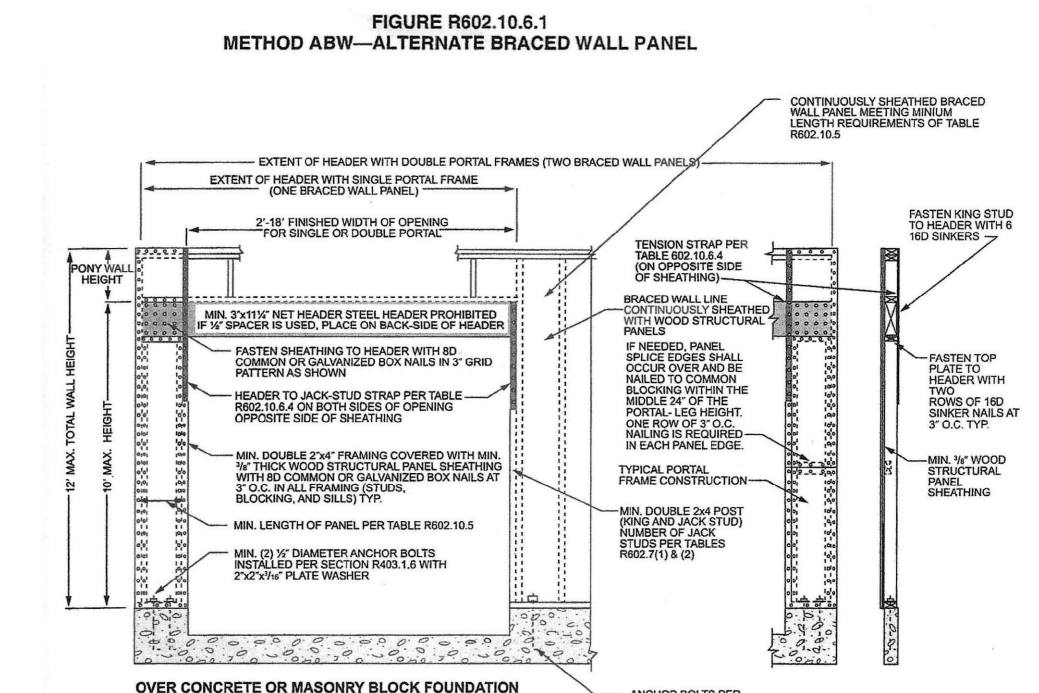
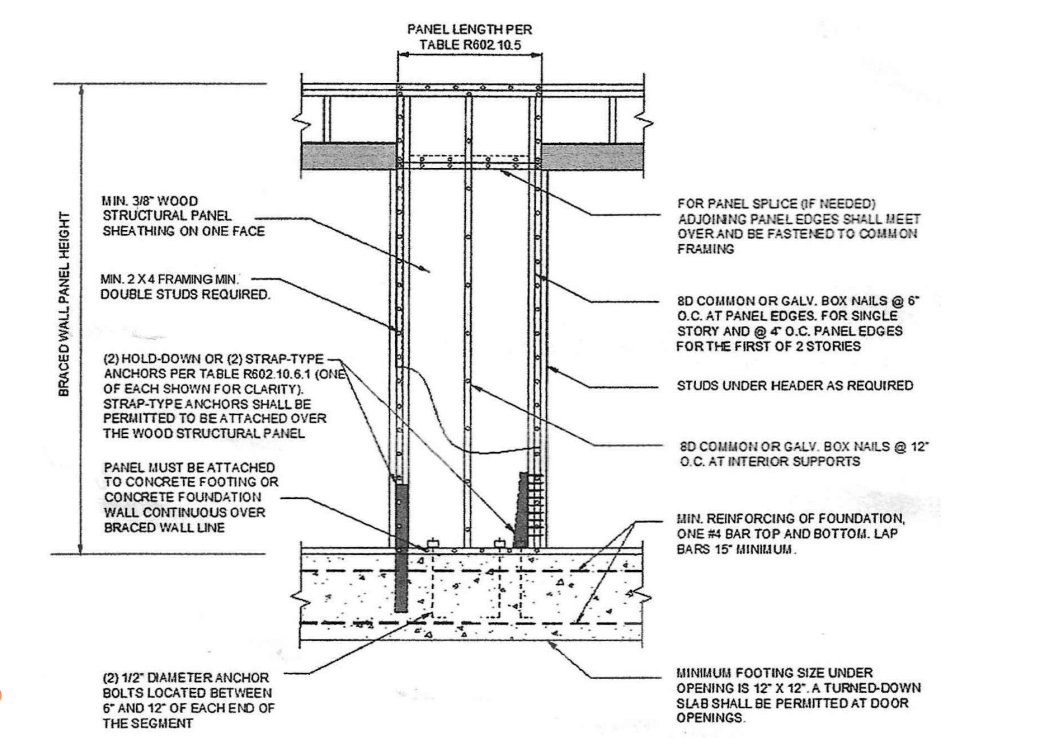


NOTE:  
BRACE WALL SHEATHING  
SCHEDULE AND HOLDOWN  
SCHEDULE PROVIDED IN  
ENGINEERING CALCULATIONS

NOTE  
WALL FRAMING 2X6 ALL OTHER  
WALLS.

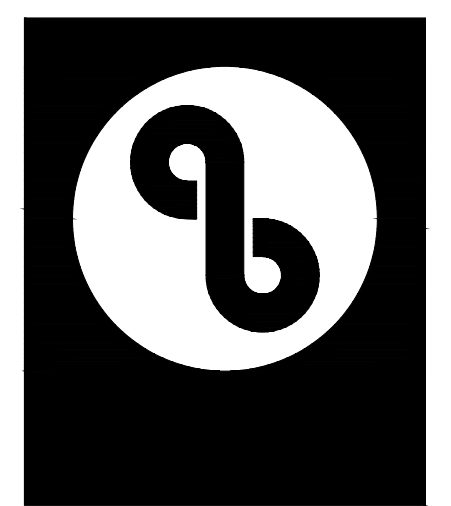
CONSTRUCTION MATERIALS:  
STUCCO SYSTEM

DETAIL:  
TYP. WALL FRAMING; 2X6 #2 SYP  
STUDS; SPACING 16" O.C



**BRACING WALL PLAN**  
1/4" = 1'-0"





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CONTENT  
ROOF FRAMING PLAN

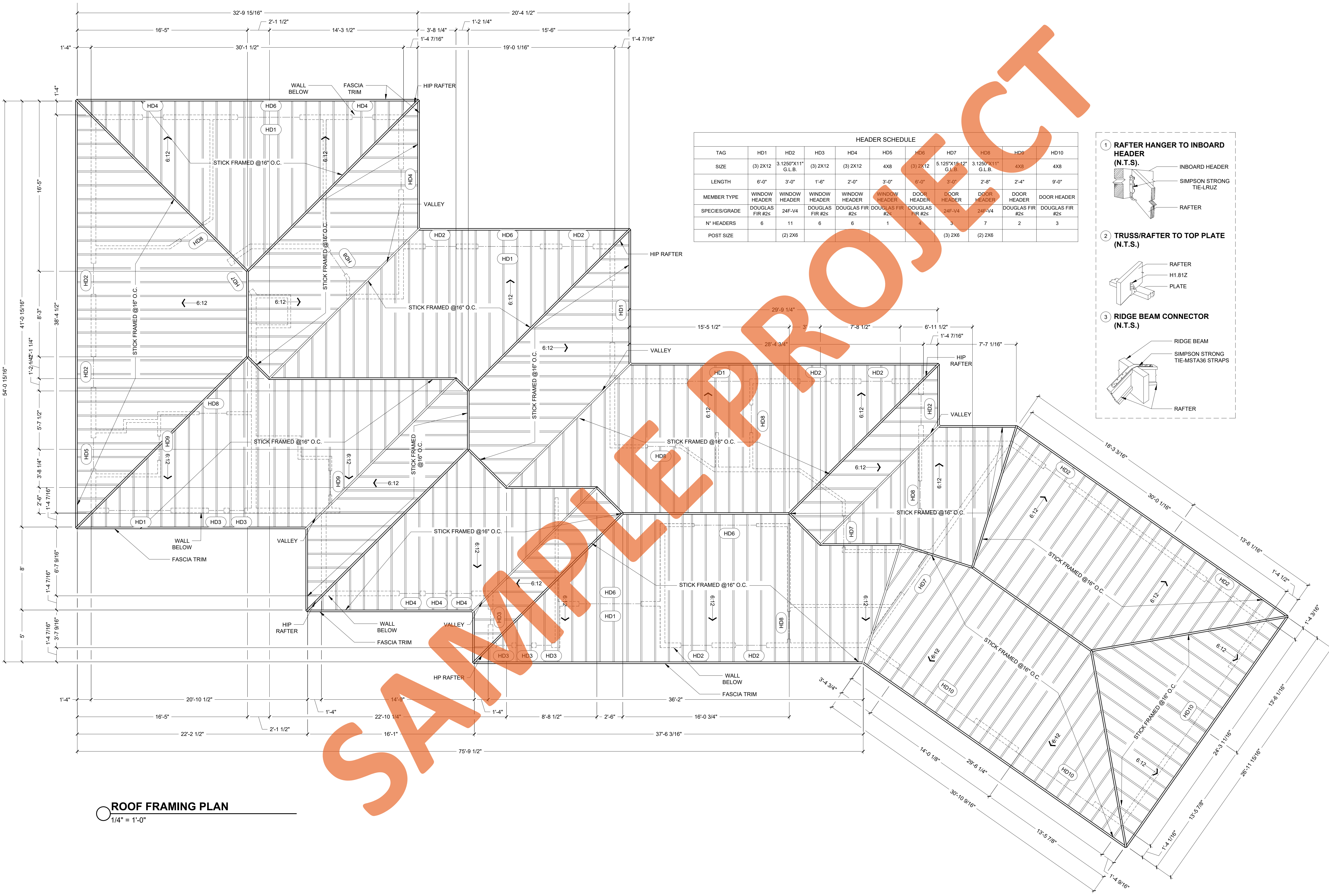
SCALE  
1/4" = 1'-0"

DRAWN BY  
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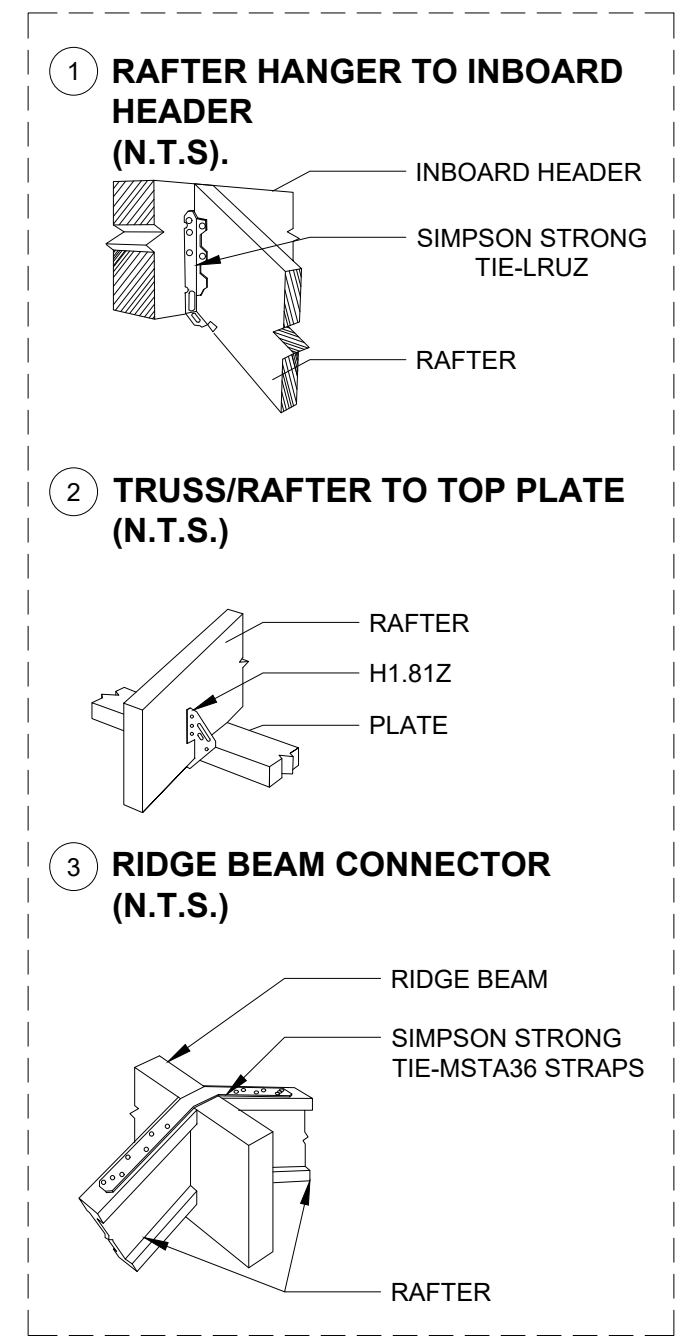
DATE  
02/14/24

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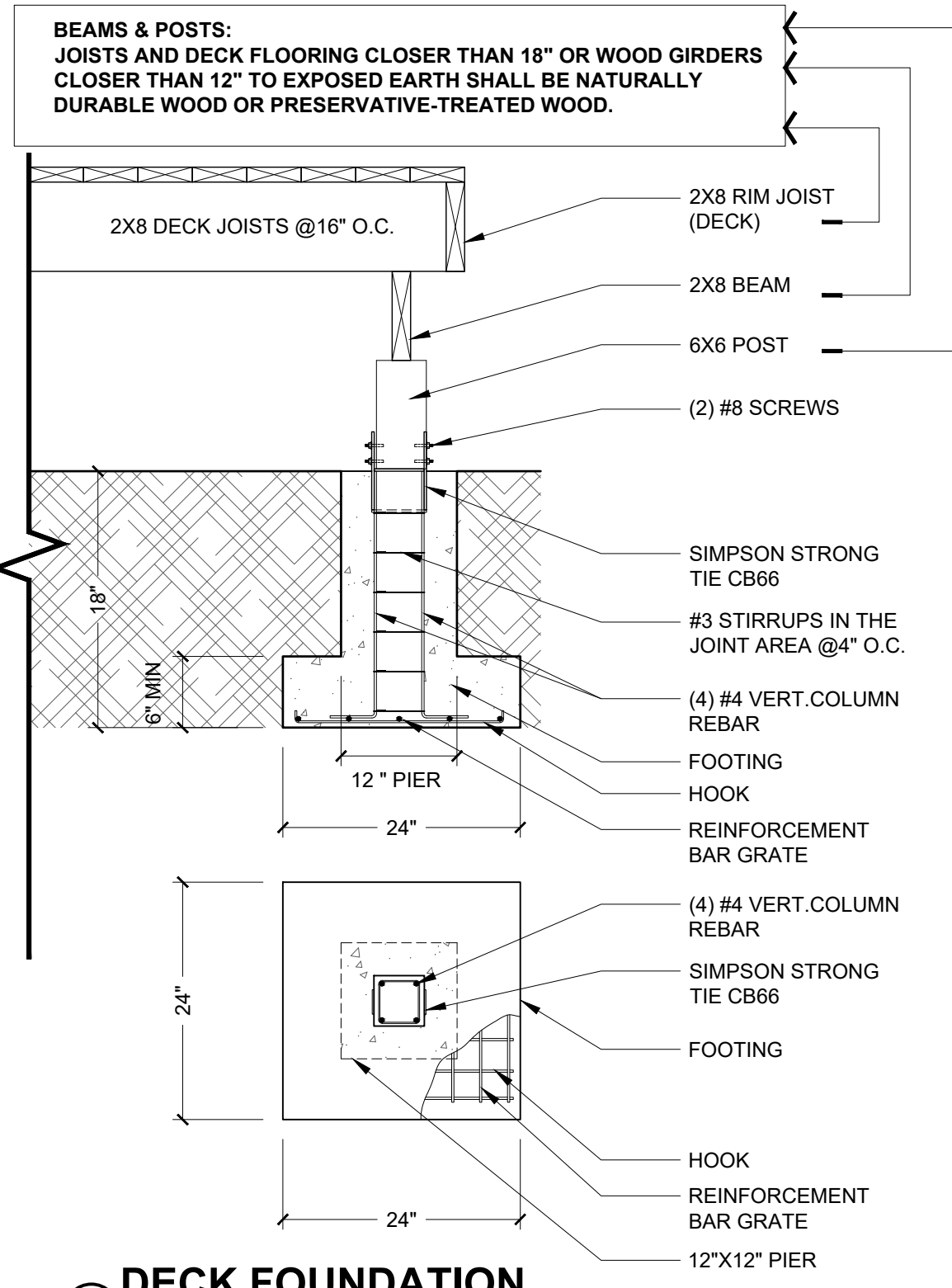
S4



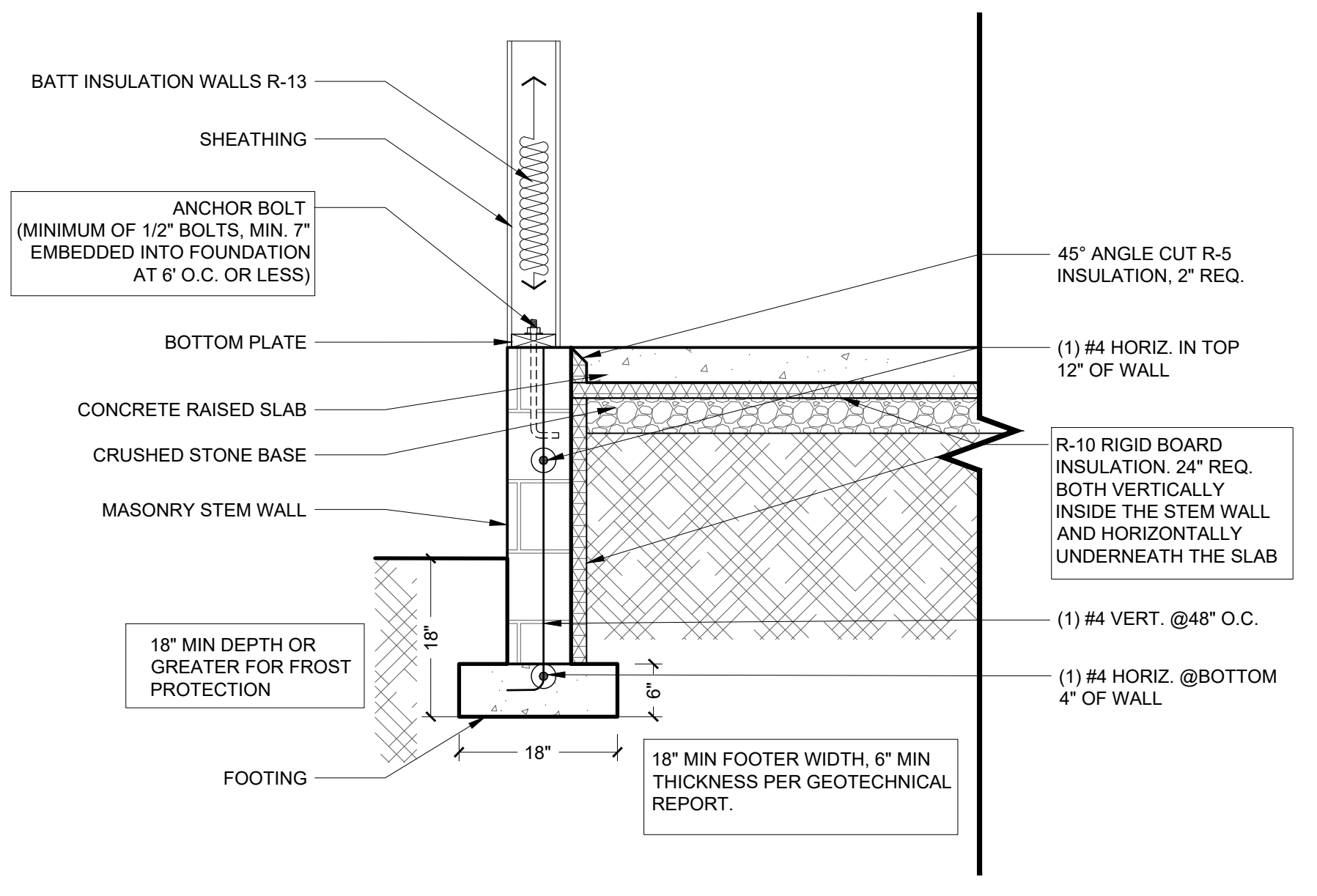
TAG	HD1	HD2	HD3	HD4	HD5	HD6	HD7	HD8	HD9	HD10
SIZE	(3) 2X12	3.1250'X11\"/>								



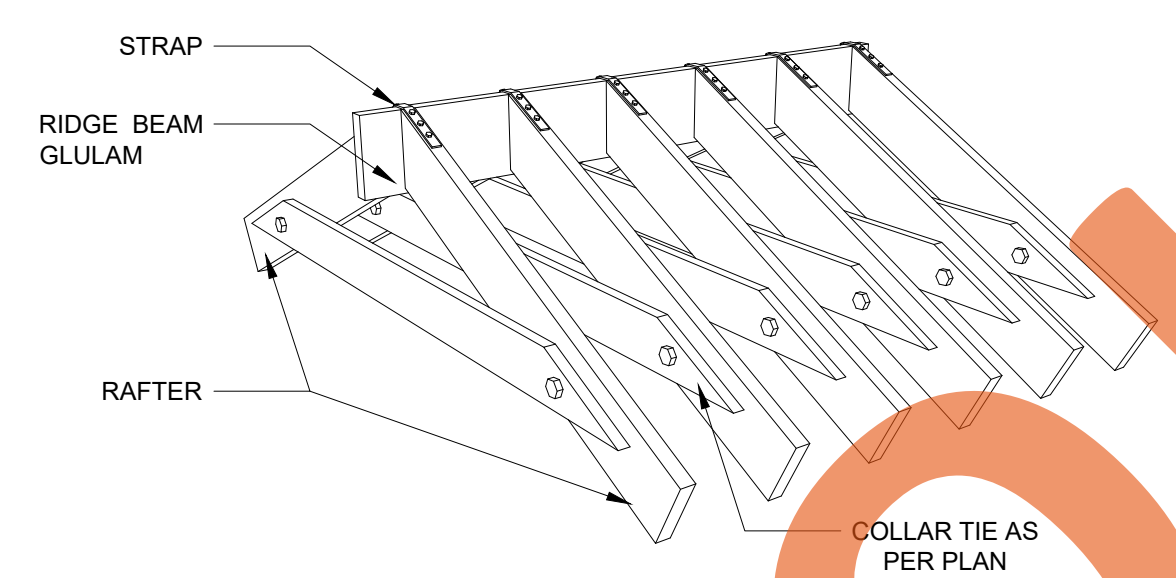
**ROOF FRAMING PLAN**  
1/4" = 1'-0"



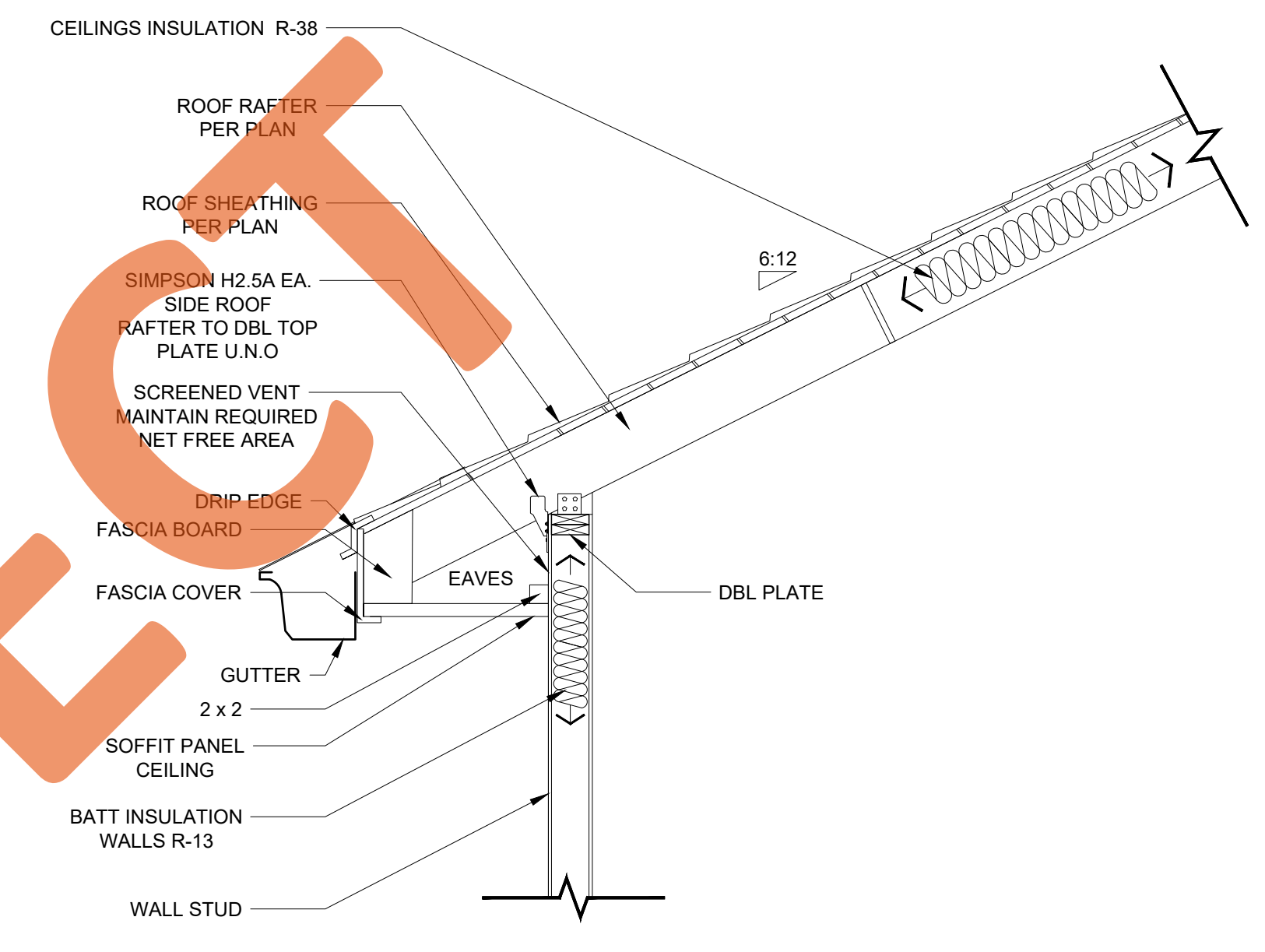
1 DECK FOUNDATION  
N.T.S.



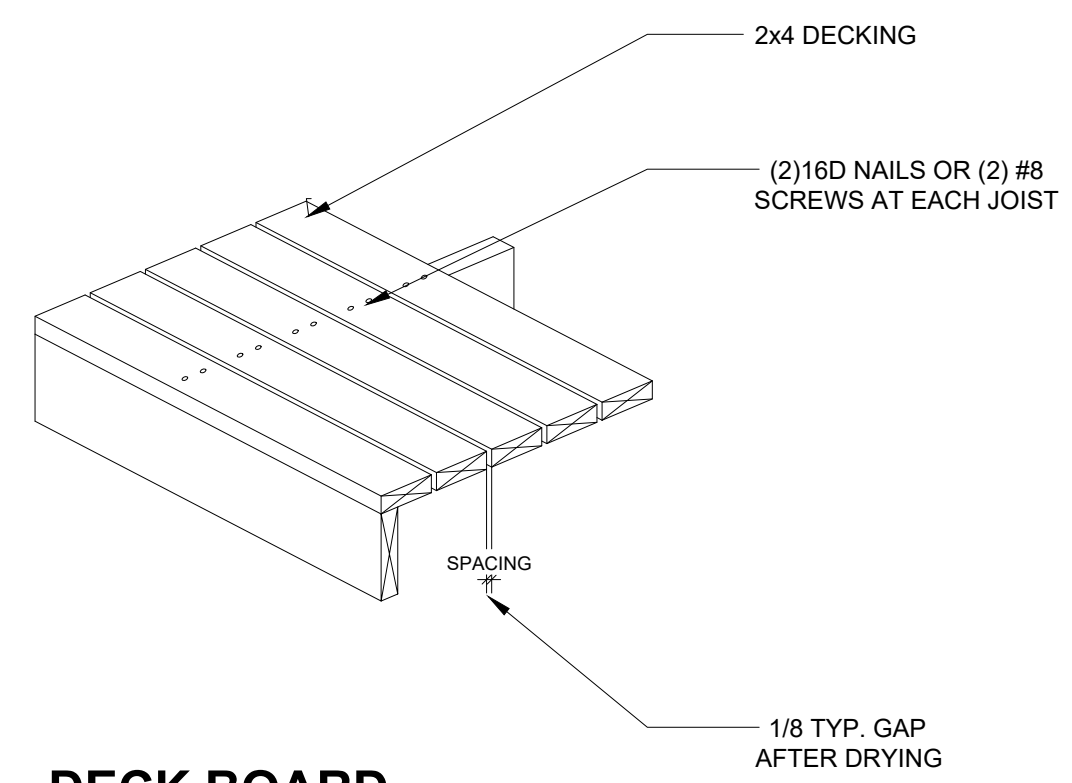
2 CONCRETE FOUNDATION WALL  
N.T.S.



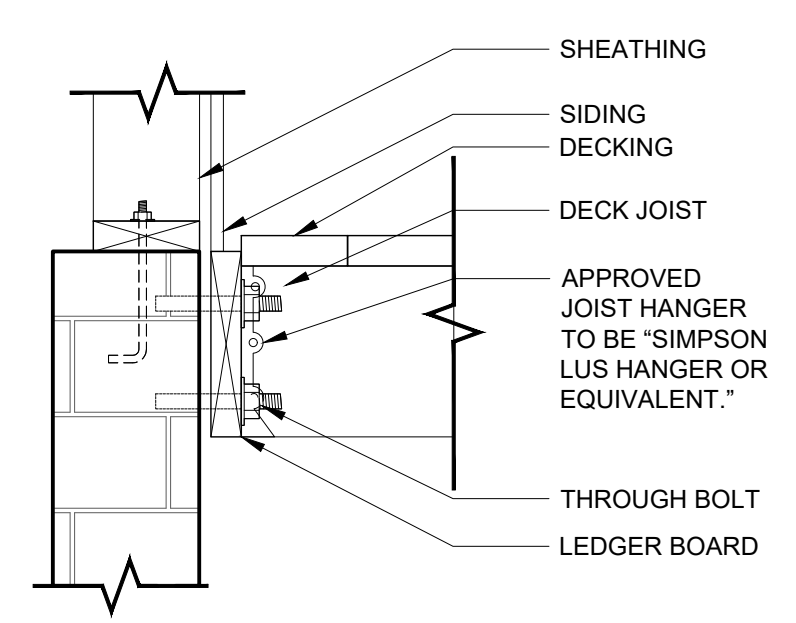
3 COLLAR TIE DETAIL  
N.T.S.



4 RAFTER PERPENDICULAR  
N.T.S.

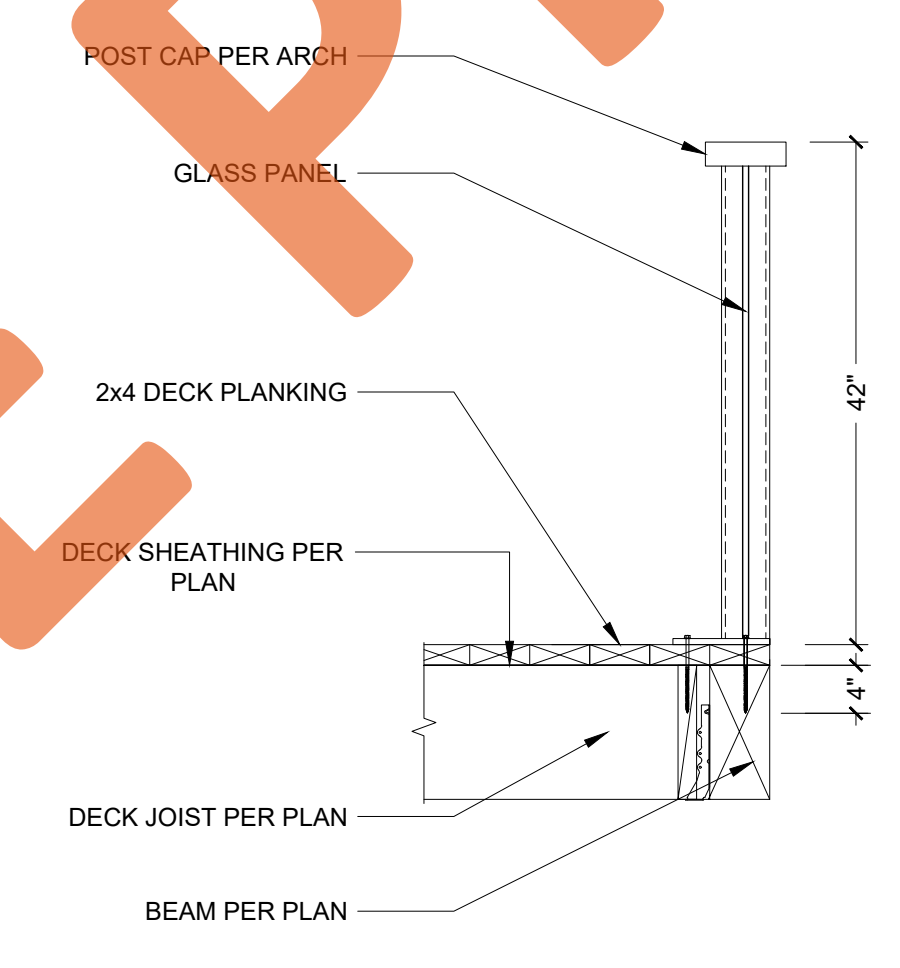


5 DECK BOARD  
N.T.S.

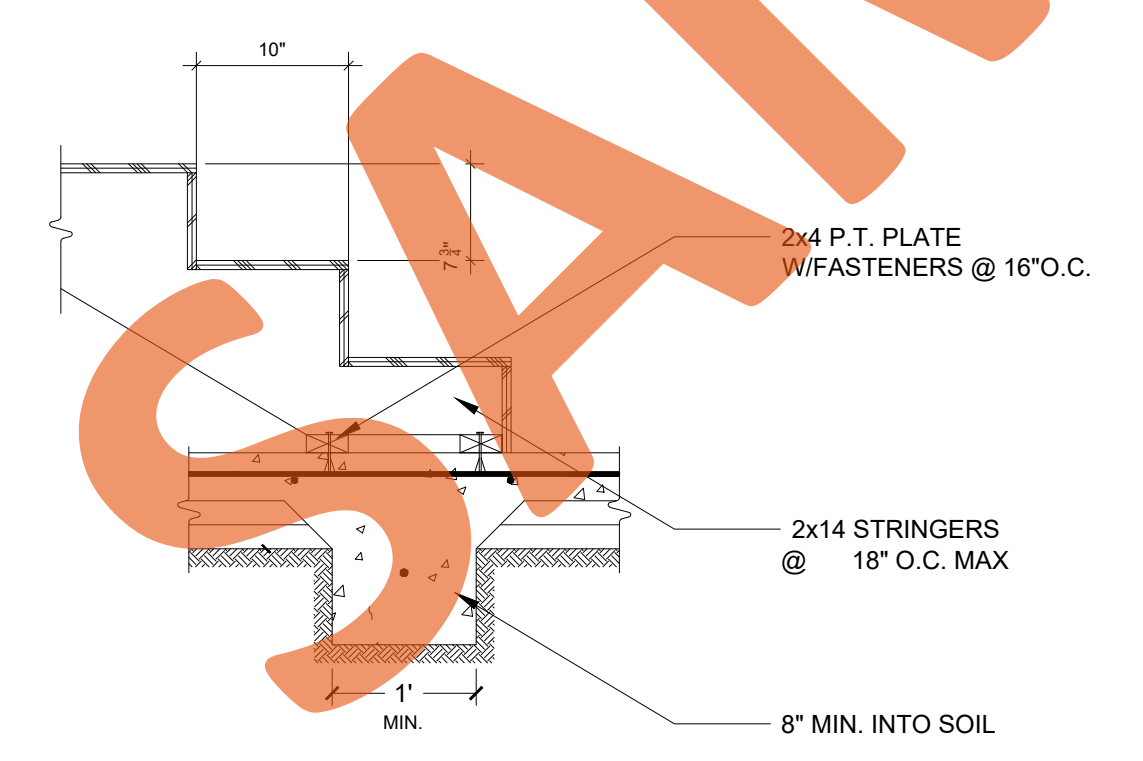


6 TYP. LEDGER BOARD (DECK)  
N.T.S.

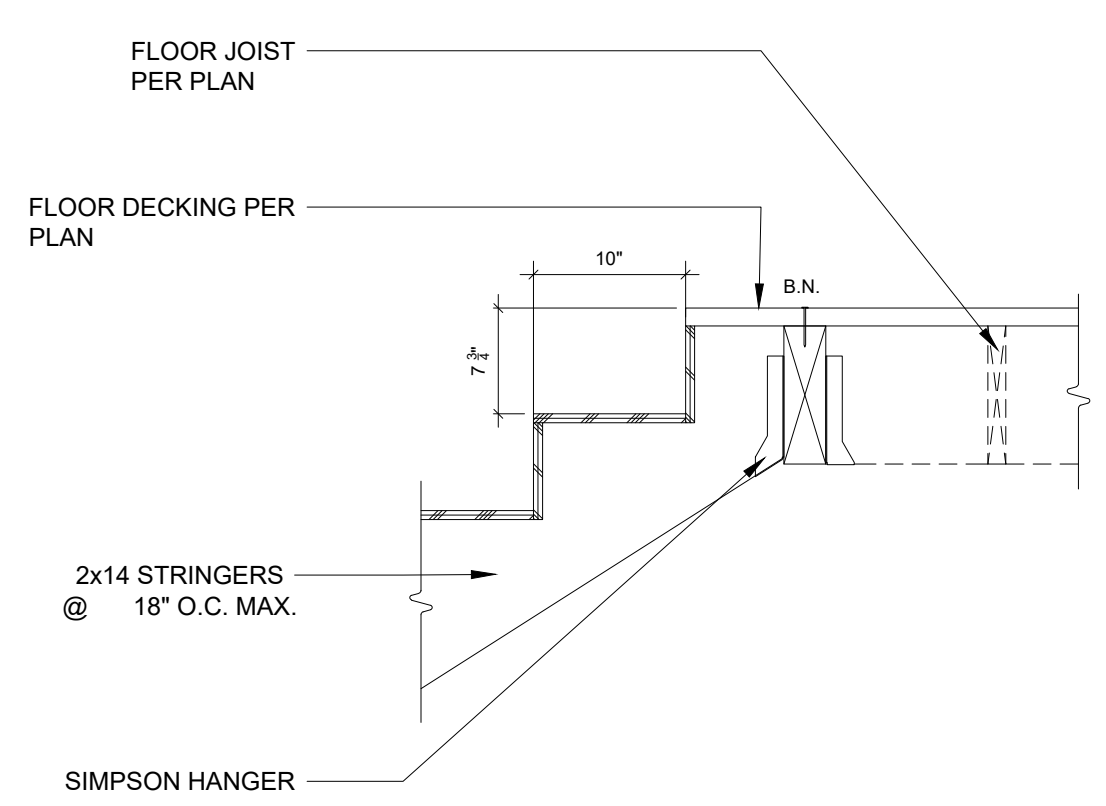
**NOTE:**  
LEDGER BOARD TO BE MIN. 3 X 8 OR (2) 2 X 8, ATTACHED TO FOUNDATION WITH 1/2" LAG BOLTS @ 2' O.C., AND ANCHORED WITH DTT 12 DECK TENSION TIES STARTING WITHIN 24" OF EACH END OF THE DECK AND A MIN. OF (4) FOUR EVENLY DISTRIBUTED ACROSS LEDGER.



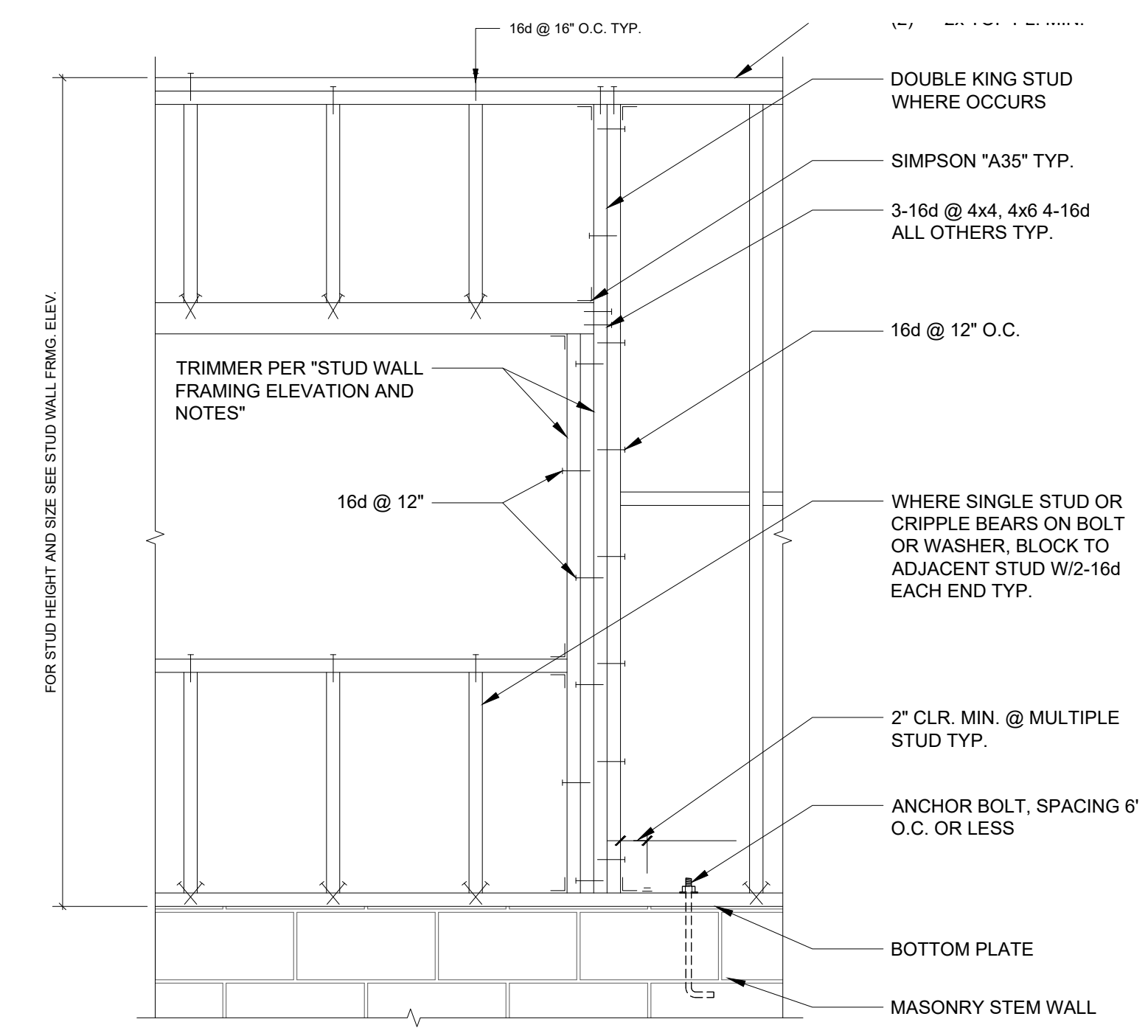
7 GUARDRAIL AT DECK  
N.T.S.



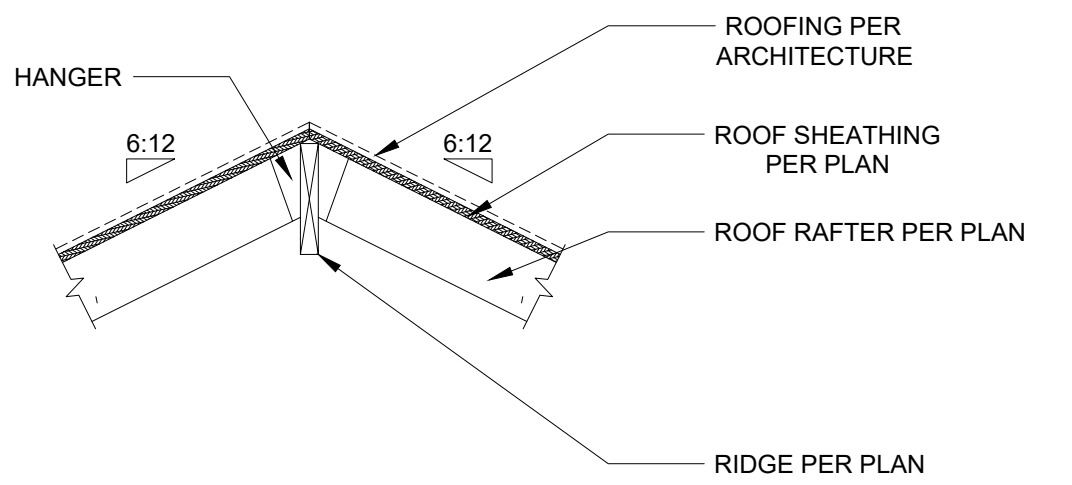
9 STAIR BASE  
N.T.S.



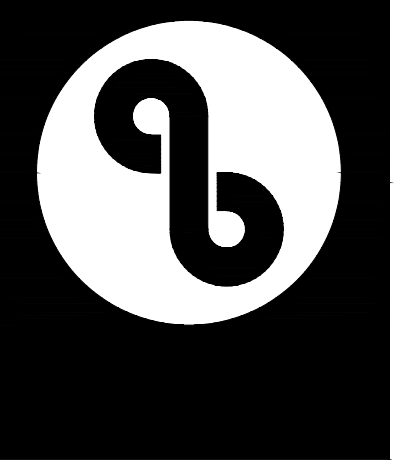
10 STAIR TO FLOOR CONNECTION  
N.T.S.



11 TYP. WALL FRAMING OPENING  
N.T.S.



8 RIDGE  
N.T.S.



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**S5**

