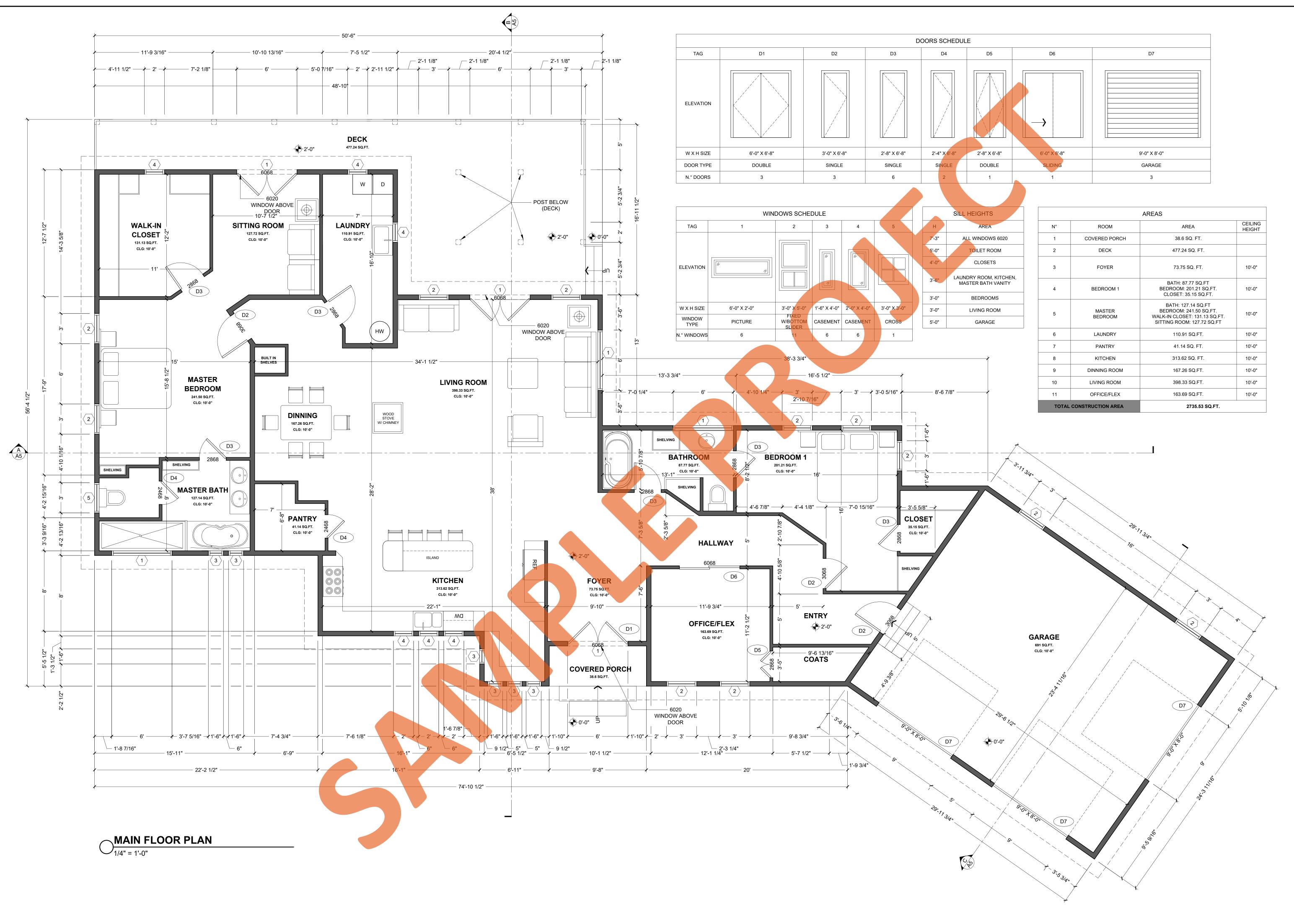
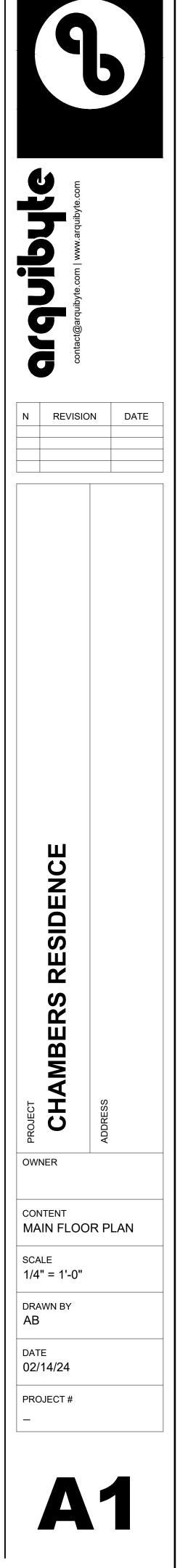
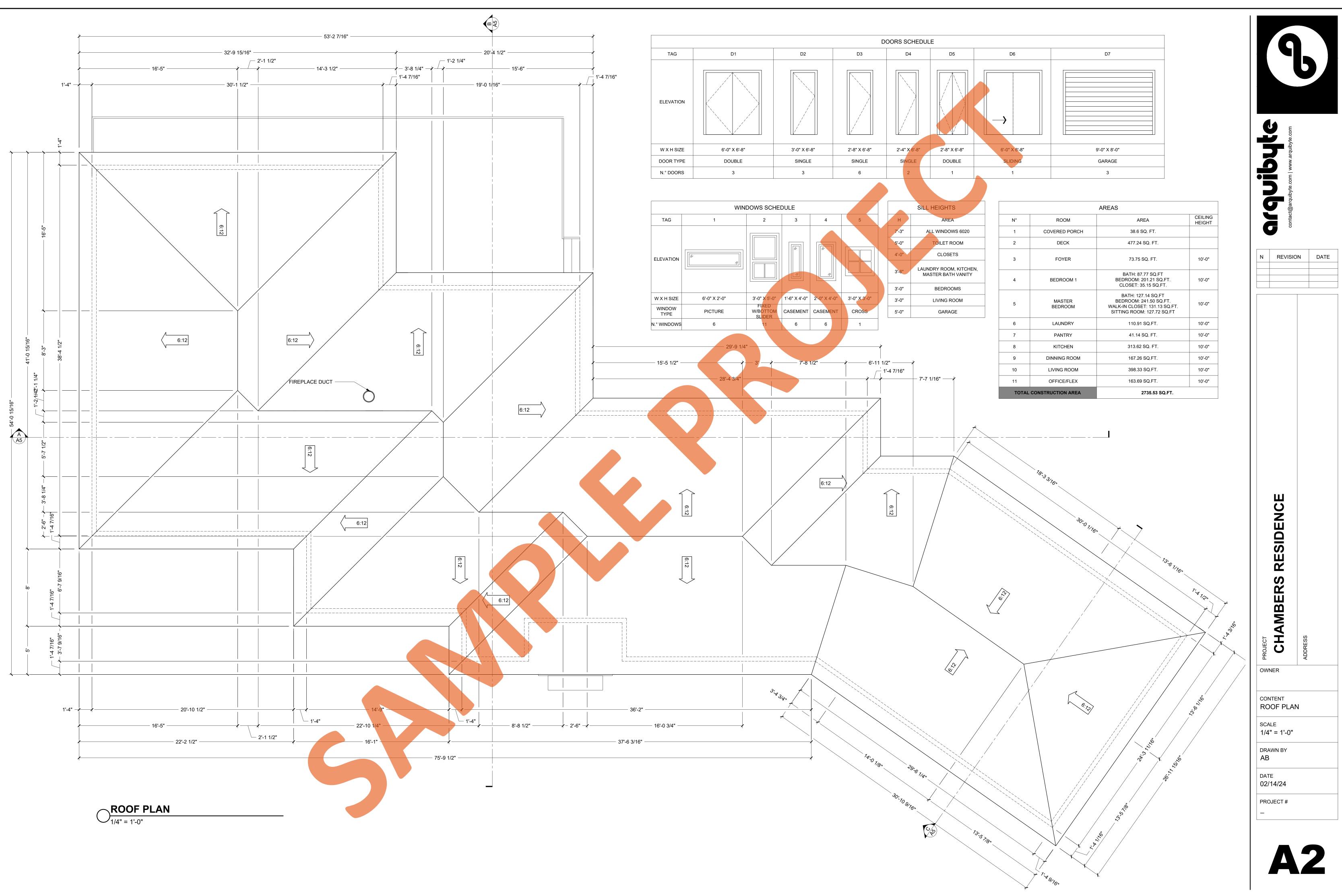
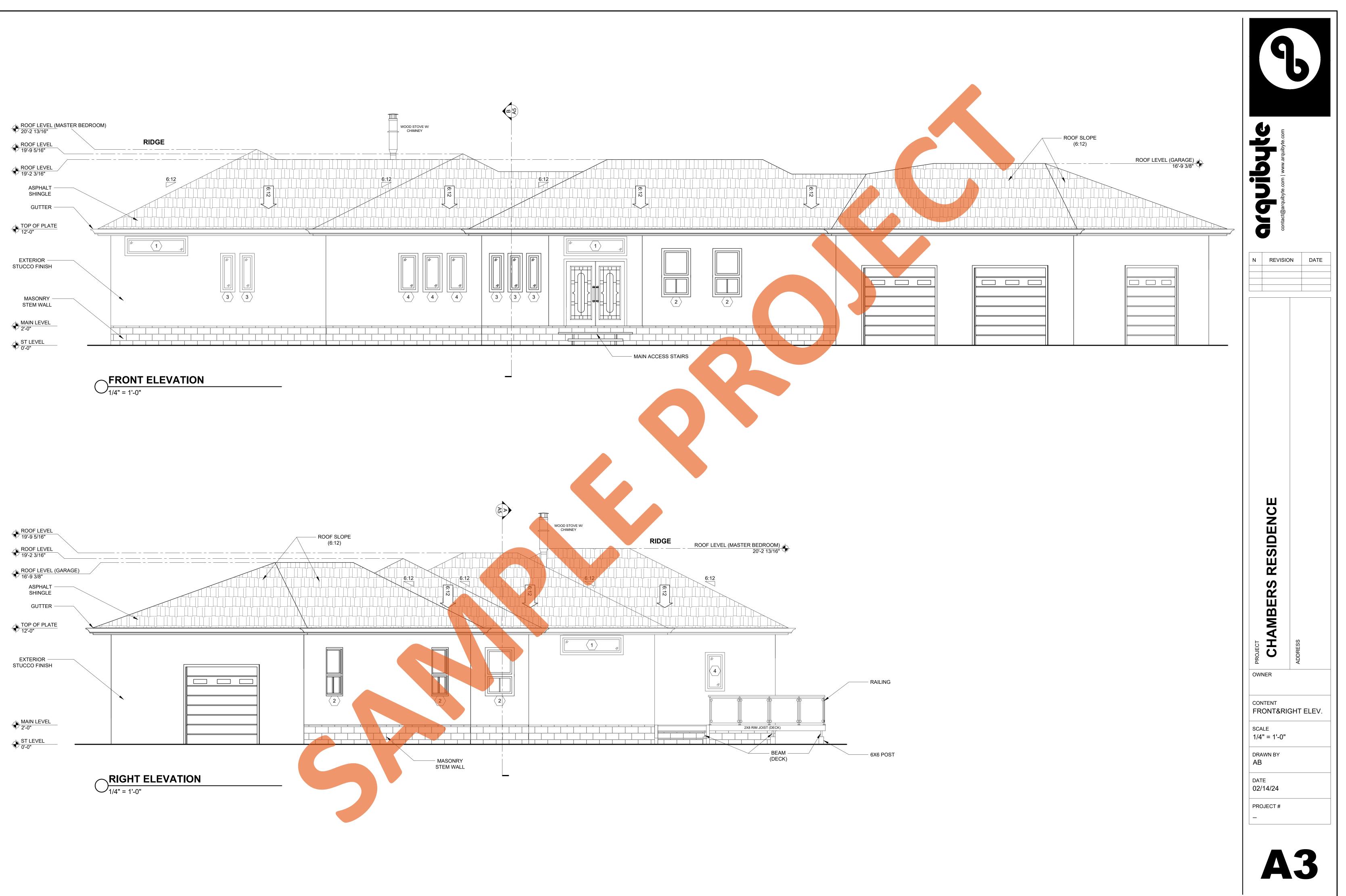


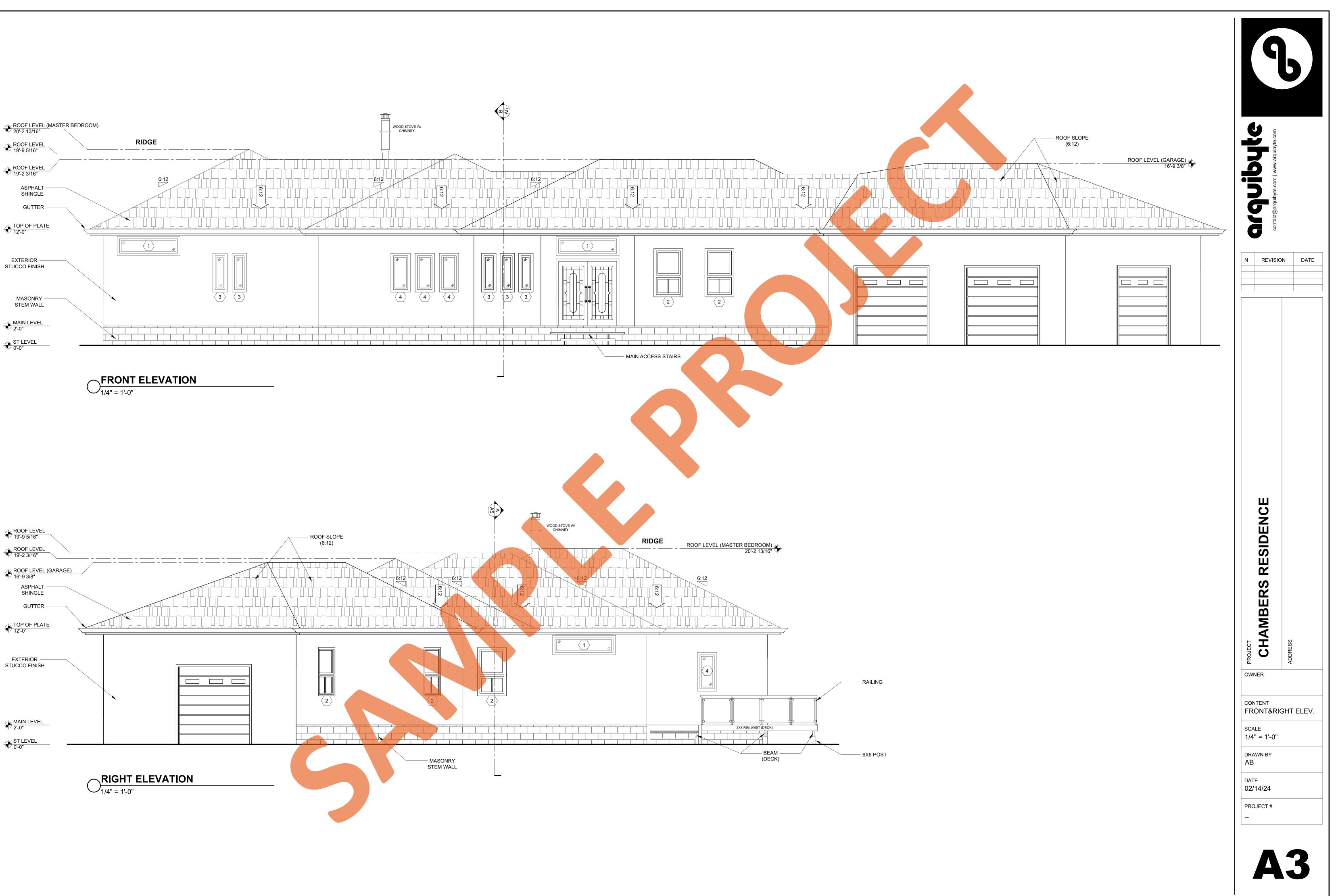
F	NERAL NOTES			
	DO NOT SCALE DRAWINGS, IF NO DIMENSIONS ARE GIVEN CONTACT THE ARCHITECT FOR CLARIFICATION.			
2.	AT LEAST ONE COMPLETE SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS SHALL BE ON SITE. THE SUPERINTENDENT SHALL BE FAMILIAR WITH THE CONTENTS OF THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.			\mathbf{D}
3.	THESE CONSTRUCTION DOCUMENTS REPRESENT THE DESIGN INTENT OF THE ARCHITECT BASED ON DIMENSIONS OF EXISTING SITE AND/OR FIELD CONDITIONS. ACTUAL CONDITIONS MAY REQUIRE			
	MODIFICATIONS OF THE CONSTRUCTION DETAILS TO ACHIEVE ARCHITECT'S DESIGN INTENT. CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES RELATED TO EXISTING			
1.	SITE AND/OR FIELD CONDITIONS PRIOR TO CONTINUING ANY WORK. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE INSTALLATION, ADEQUACY			
	AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. OF THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE WORK PRIOR TO THE APPLICATION AND INSTALLATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE			
	STRUCTURE IS NOT DESIGNED AS A STABLE UNIT UNTIL AFTER ALL COMPONENTS ARE IN PLACE, AND THEREFORE THE CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING		te.com	
	NECESSARY TO INSURE THE STABILITY OF ANY AND ALL PARTS OF THE PROJECT DURING CONSTRUCTION.		quiby	
).	UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER AND ARCHITECT.		ww.al	
	SEAL AROUND ALL PLUMBING AND ELECTRICAL PENETRATIONS INTO THE BUILDING ENVELOPE. ALL DETAILS MARKED TYPICAL APPLY TO SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. WHEN NO		om w	
	DETAIL IS SHOWN, CONSTRUCTION IS AS SHOWN FOR SIMILAR CONDITIONS. THE CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE SITE WHENEVER ANY WORK IS BEING		byte.c	
).	PERFORMED. CONTRACTOR IS RESPONSIBLE FOR WATER PROOFING THE ROOF.		2)arqui	
			contact@arquibyte.com www.arquibyte.com	
U	ILDING CODES			
		N	REVISIO	DN DATE
	CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING DES AND AMENDMENTS PER THEIR ADOPTING DINANCES.			
,	2018 INTERNATIONAL BUILDING CODE			
•	2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL MECHANICAL CODE 2006 INTERNATIONAL ENERGY CONSERVATION CODE			
•	2006 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL FUEL GAS CODE			
•	2018 INTERNATIONAL PLUMBING CODE 2017 NATIONAL ELECTRICAL CODE			
R	OJECT DESCRIPTION			
	EA (TOTAL UNDER ROOF) = 1035 SQUARE FEET. EA (MAIN FLOOR LIVABLE) = 741 SQUARE FEET.			
٩RE	EA (COVERED PORCH) = 293.80 SQUARE FEET.			
13'-	LDING HEIGHT (FINISHED GRADE TO RIDGE) = 21'-10 1/2"± ·2 3/4" PLATE HEIGHT TO CEILING))REYS = 1			
	NSTRUCTION = LP SMART PANEL SIDING, BOARD AND BATTEN FINISH.			
Η				
-	COVER AND SITE PLAN			
\ 2.	MAIN FLOOR PLAN ROOF PLAN		ш	
\ 4.	ELEVATIONS (FRONT&RIGHT ELEVATION) ELEVATIONS (REAR&LEFT ELEVATION)		C	
۹6.	SECTIONS 3D VIEWS		Z	
P2.	PLUMBING SUPPLY PLAN PLUMBING DRAIN PLAN		SIDEN	
61.	ELECTRICAL PLAN FOUNDATION PLAN		S	
	BRACING WALL PLAN FLOOR FRAMING PLAN (DECK)		RE	
S5.	ROOF FRAMING PLAN TYP DETAILS		S	
	GENERAL NOTES		R	
			Ш	
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			CHAMB	
		PROJECT	С Т	ADDRESS
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R	OJECT SUMMARY	IWO	NER	
			ITENT VER SH	EET
	CHAMBERS RESIDENCE	SCA	IE	
	SITE ADDRESS:		SHOWN	I I
	OWNER: PERMIT NUMBER:		WN BY	
	PERMIT TYPE: NEW RESIDENCE	AB		
	WORK DESCRIPTION: SINGLE FAMILY RESIDENCE 1 BEDROOM SITE BUILT PARCEL NUMBER:	DAT	E	
			14/24	
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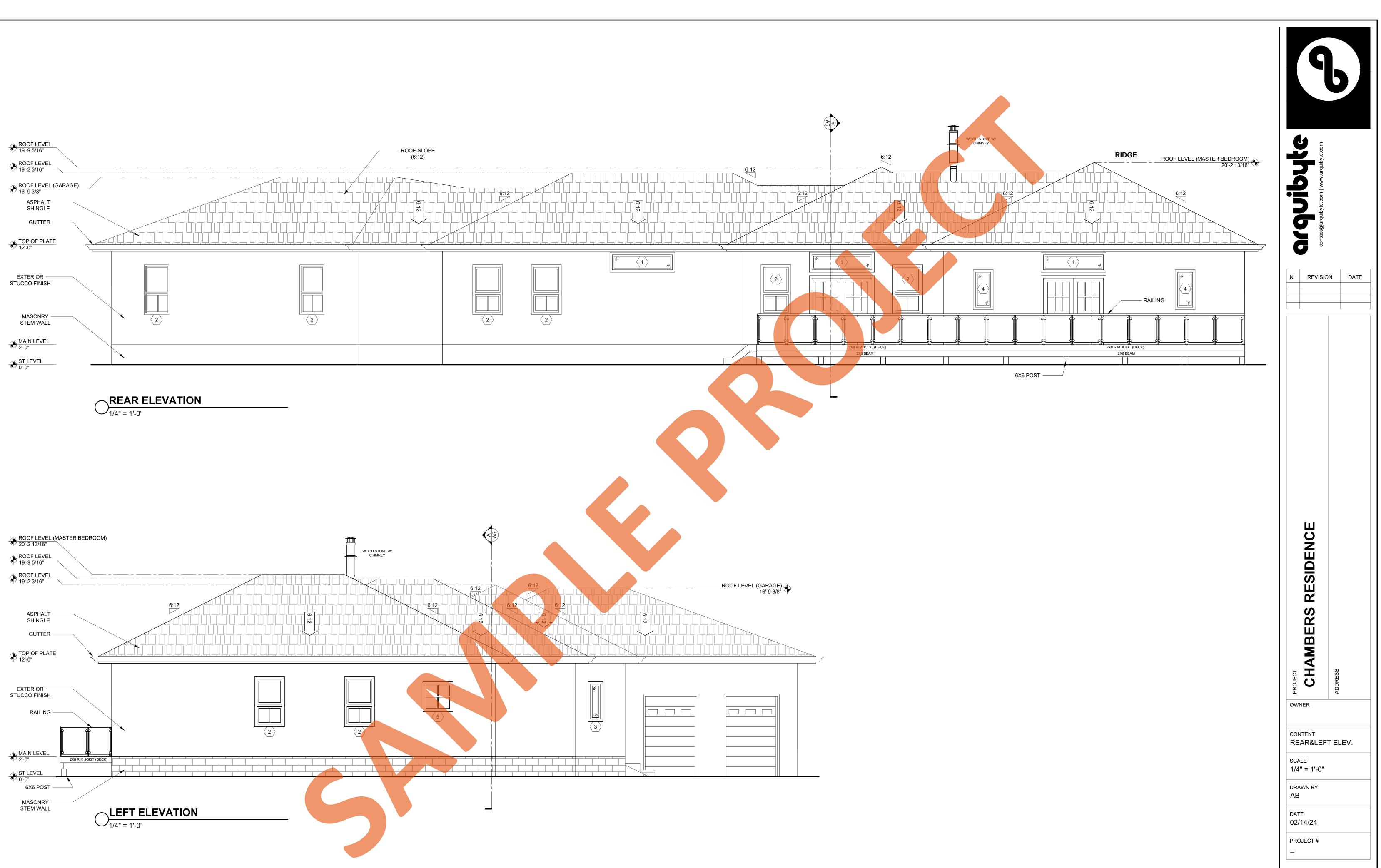




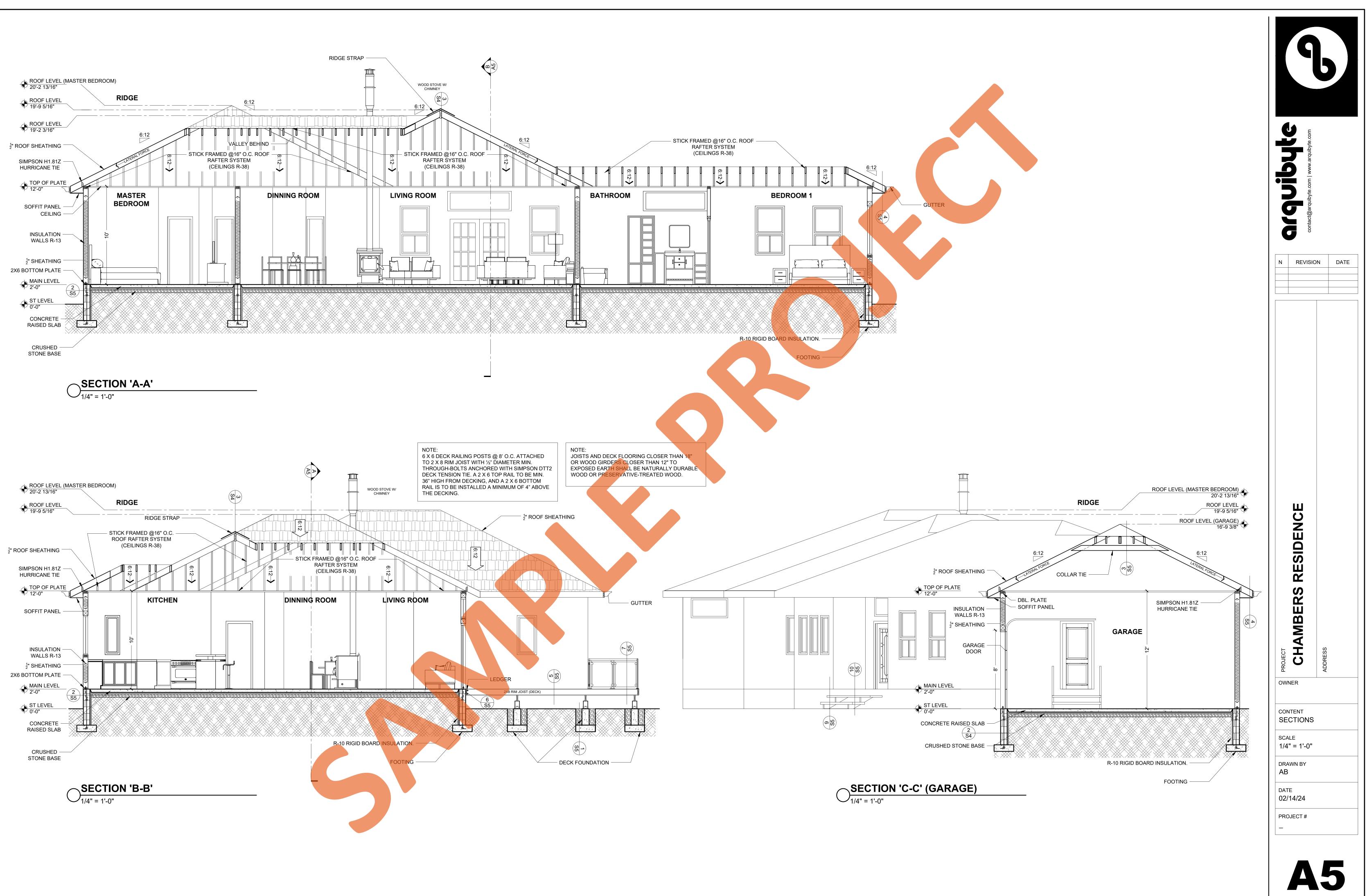


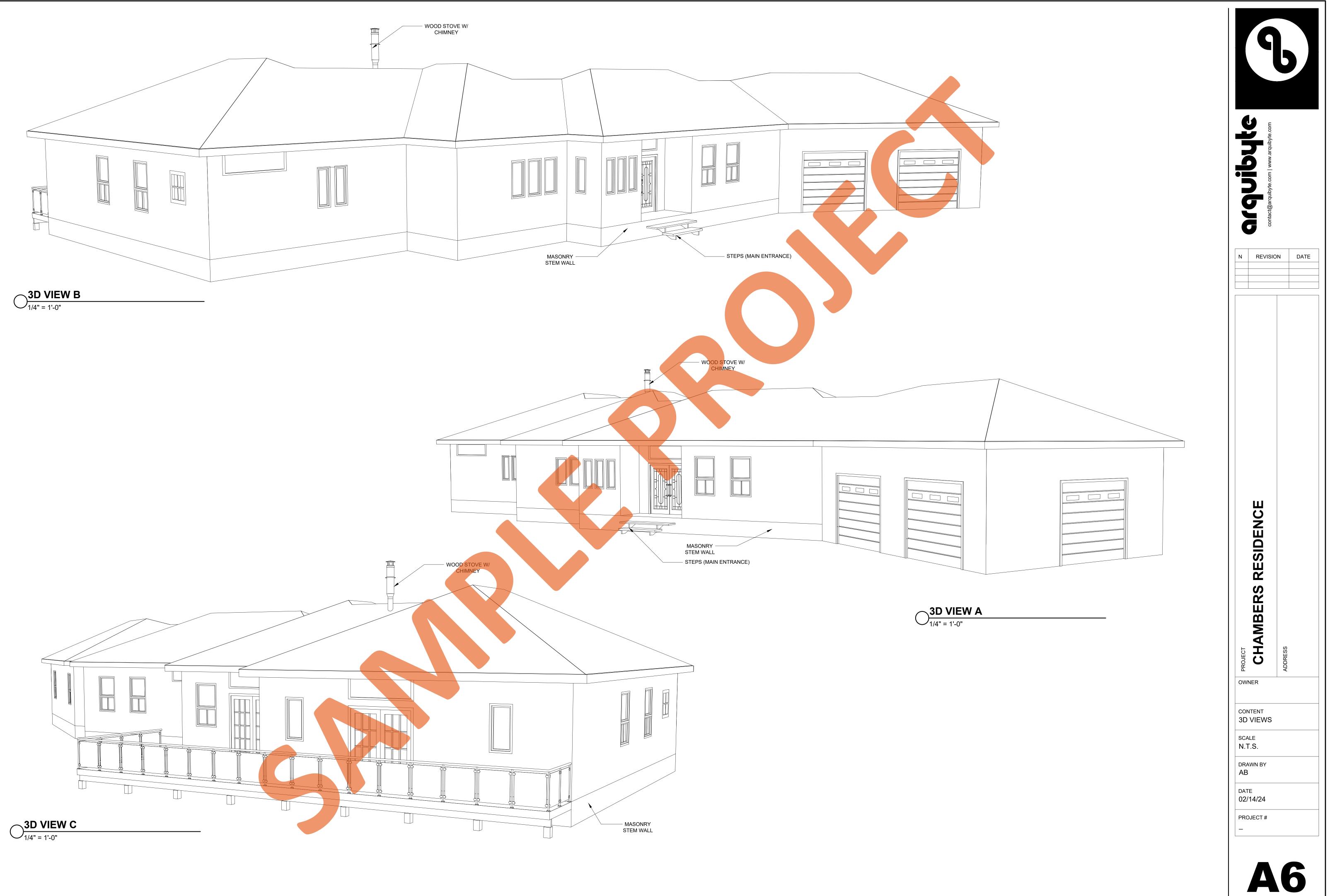


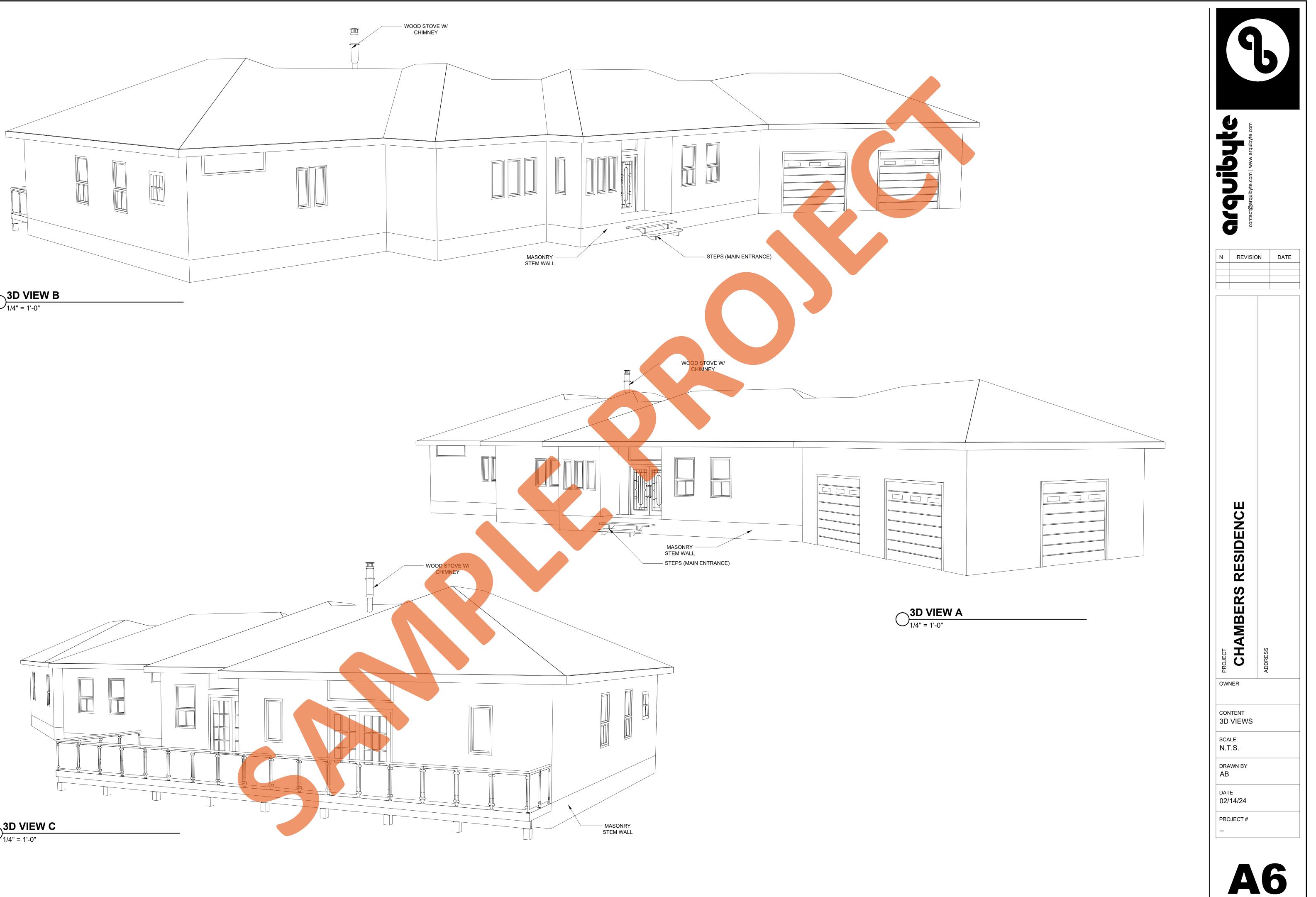


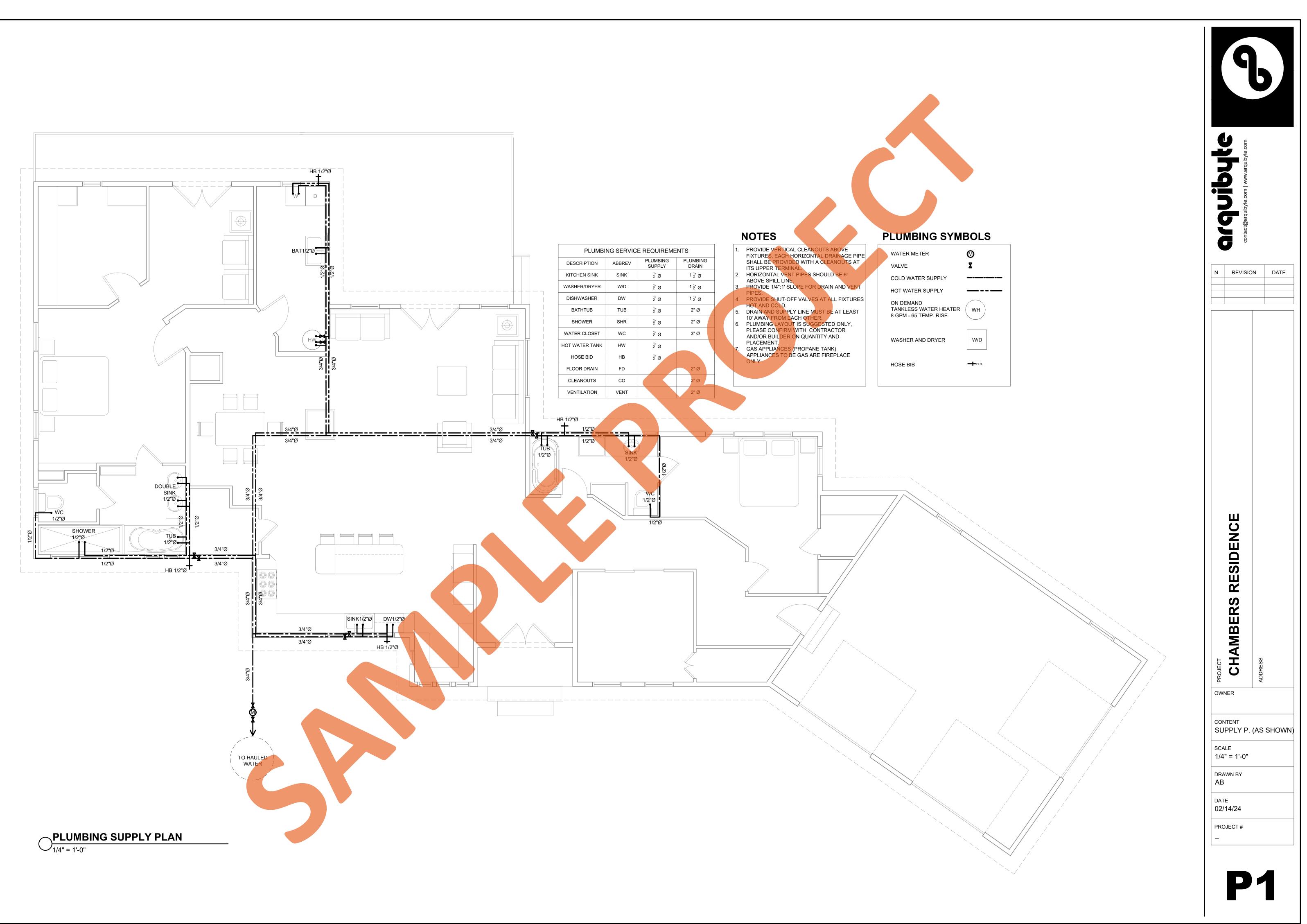


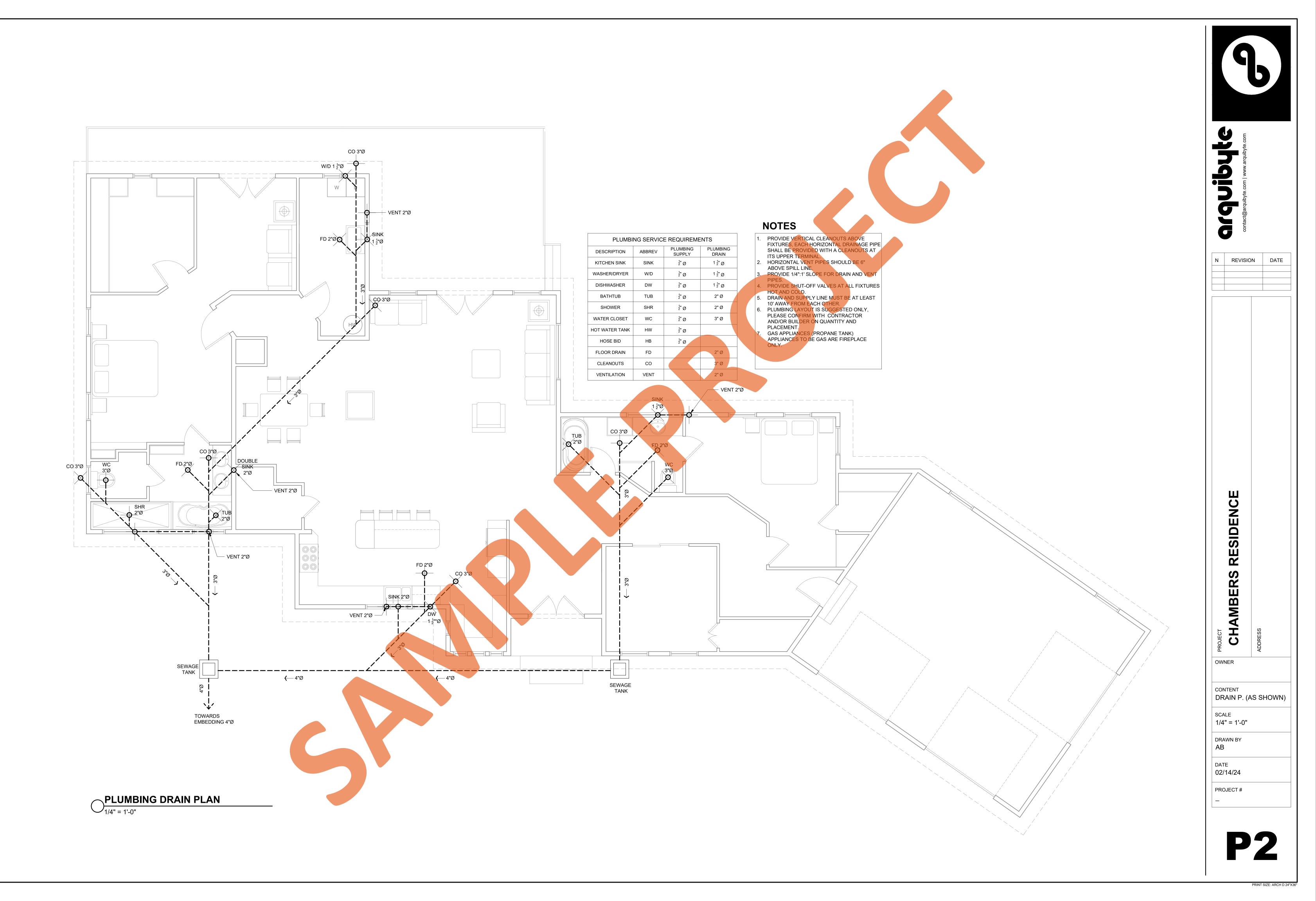


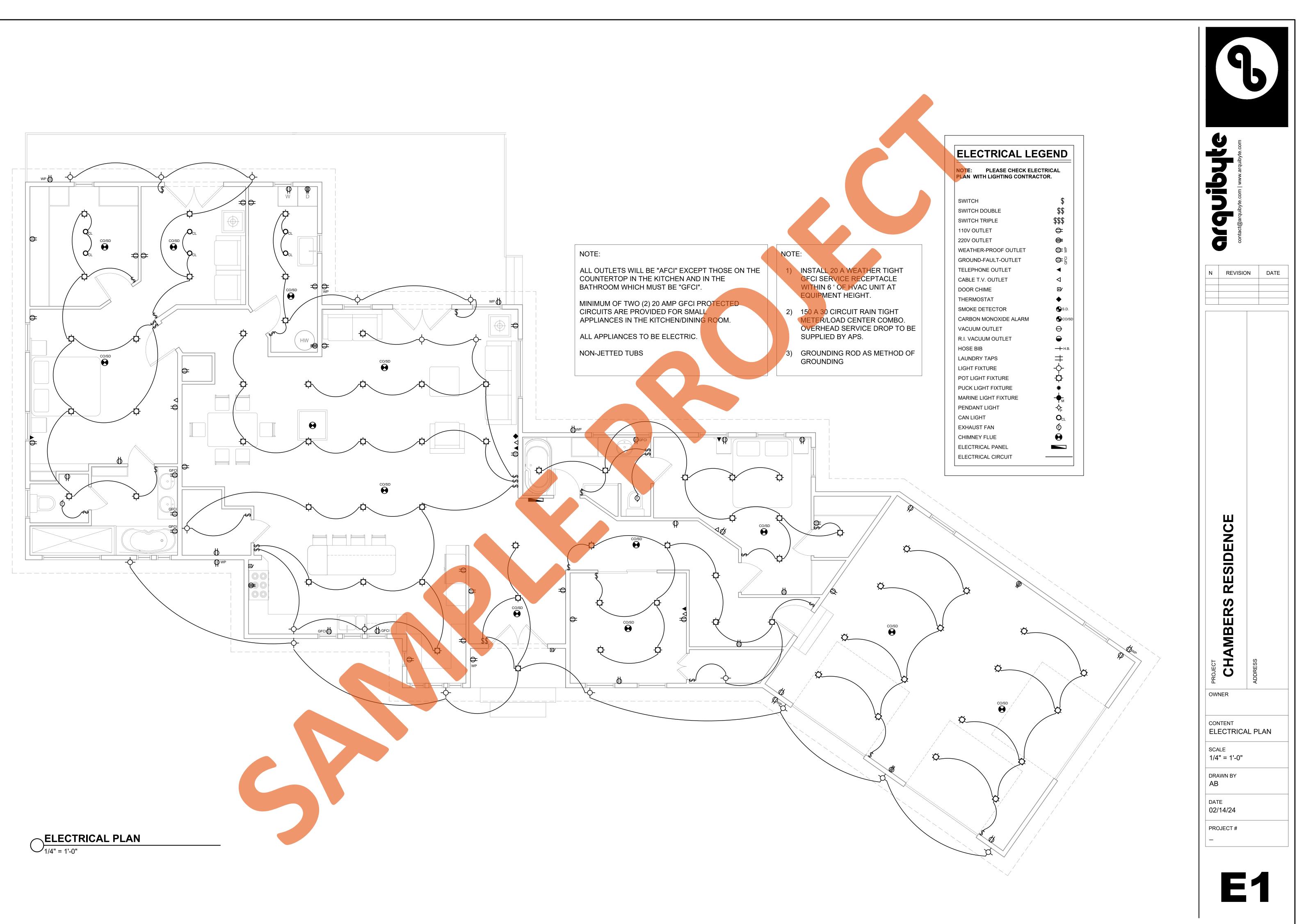


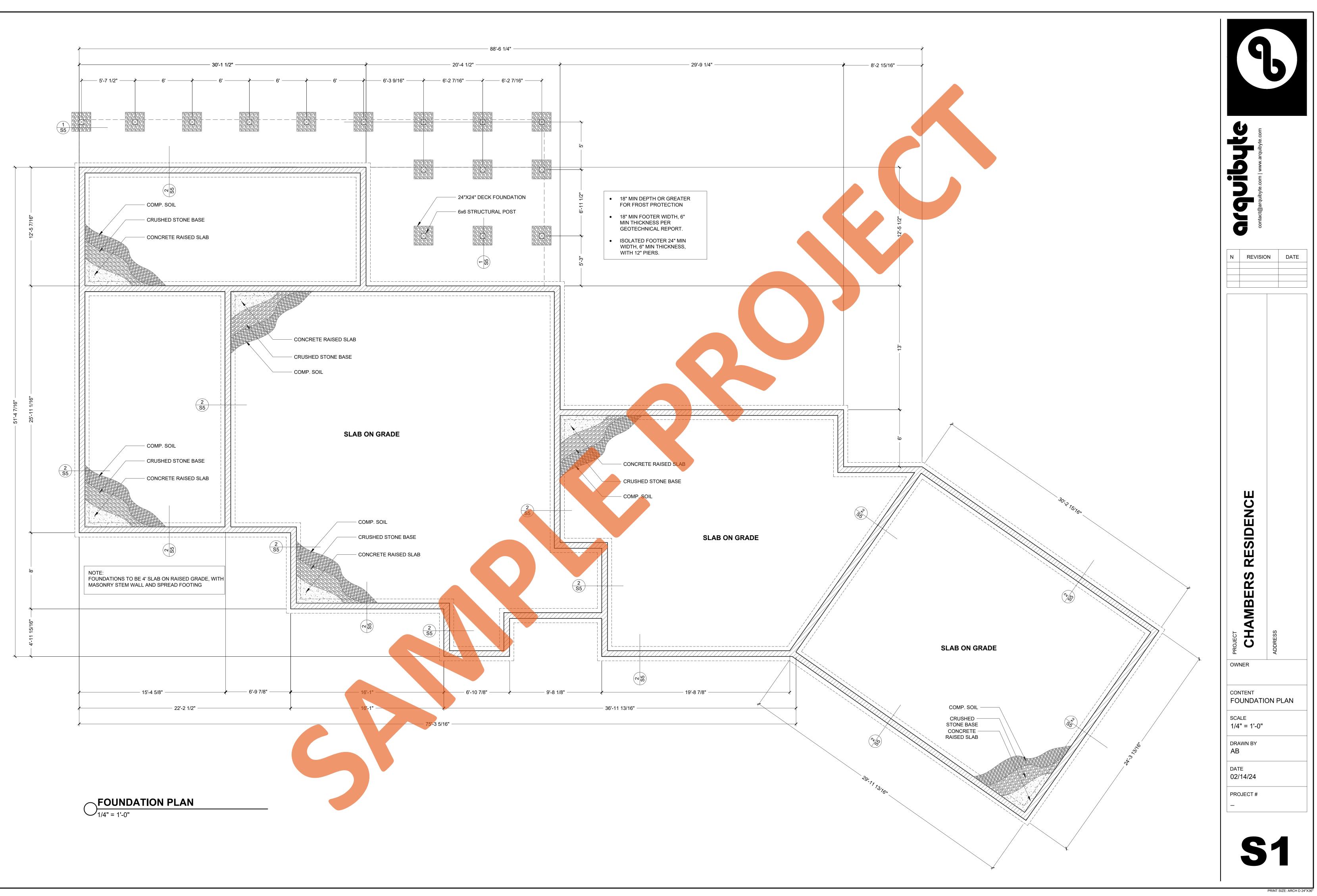


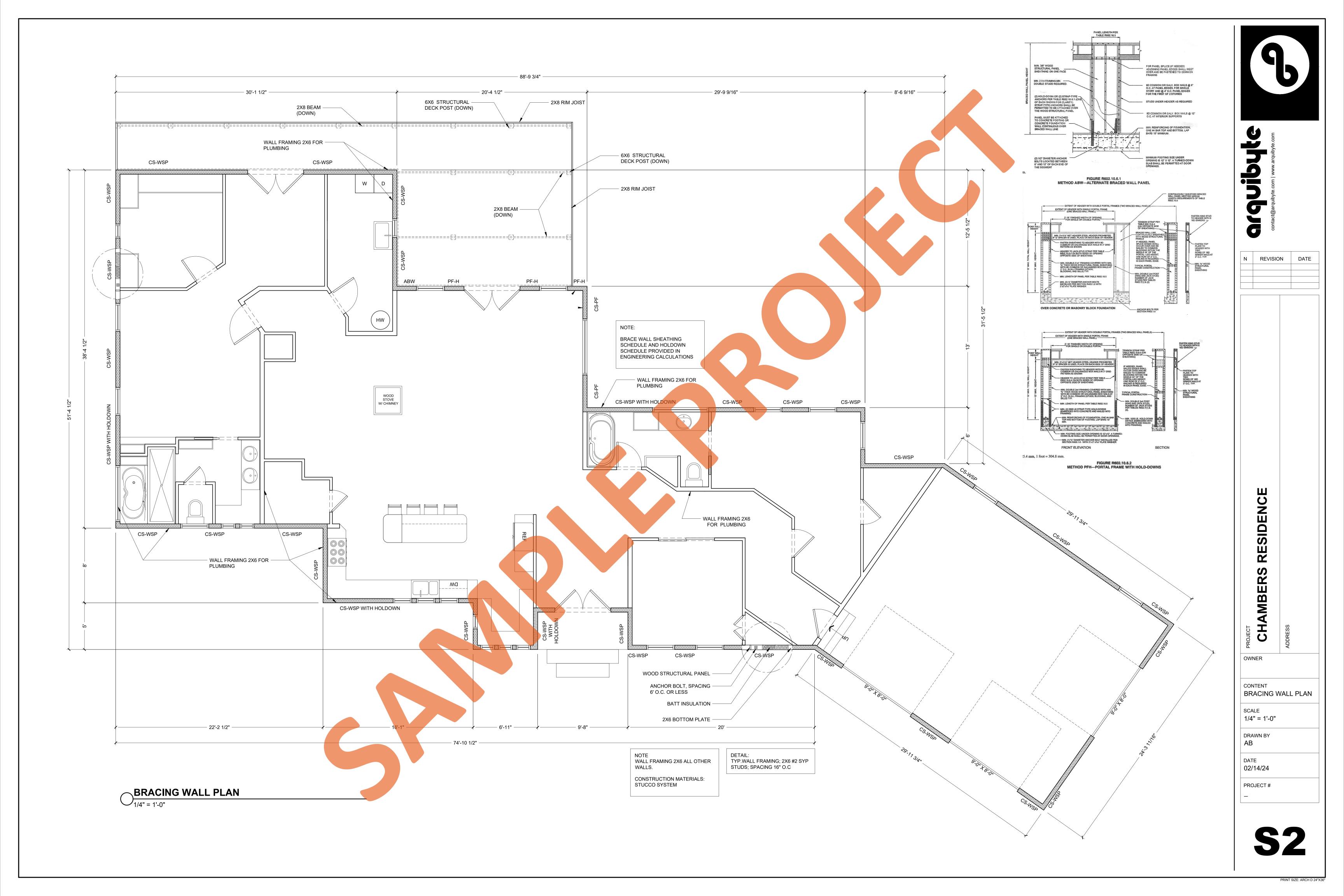


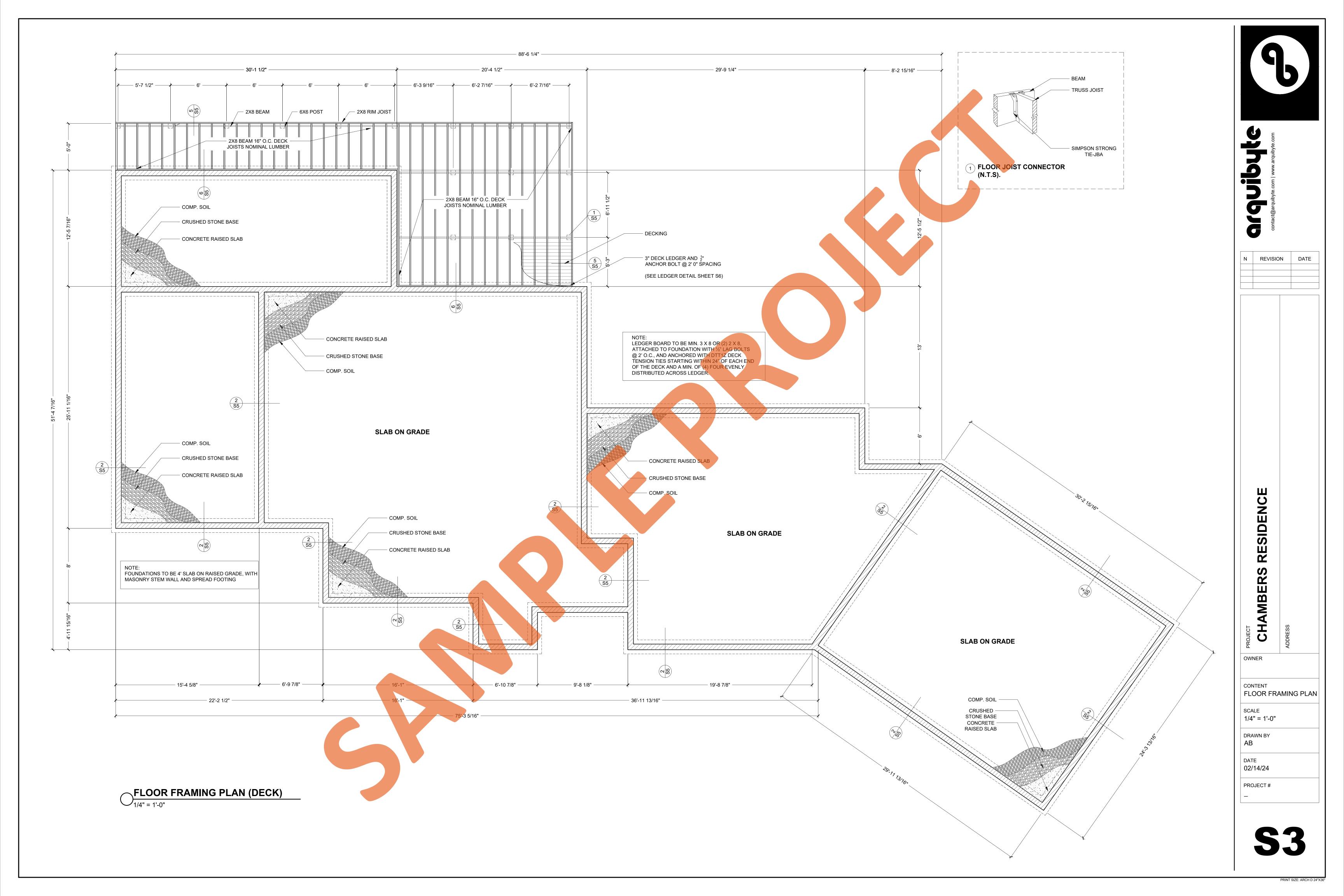


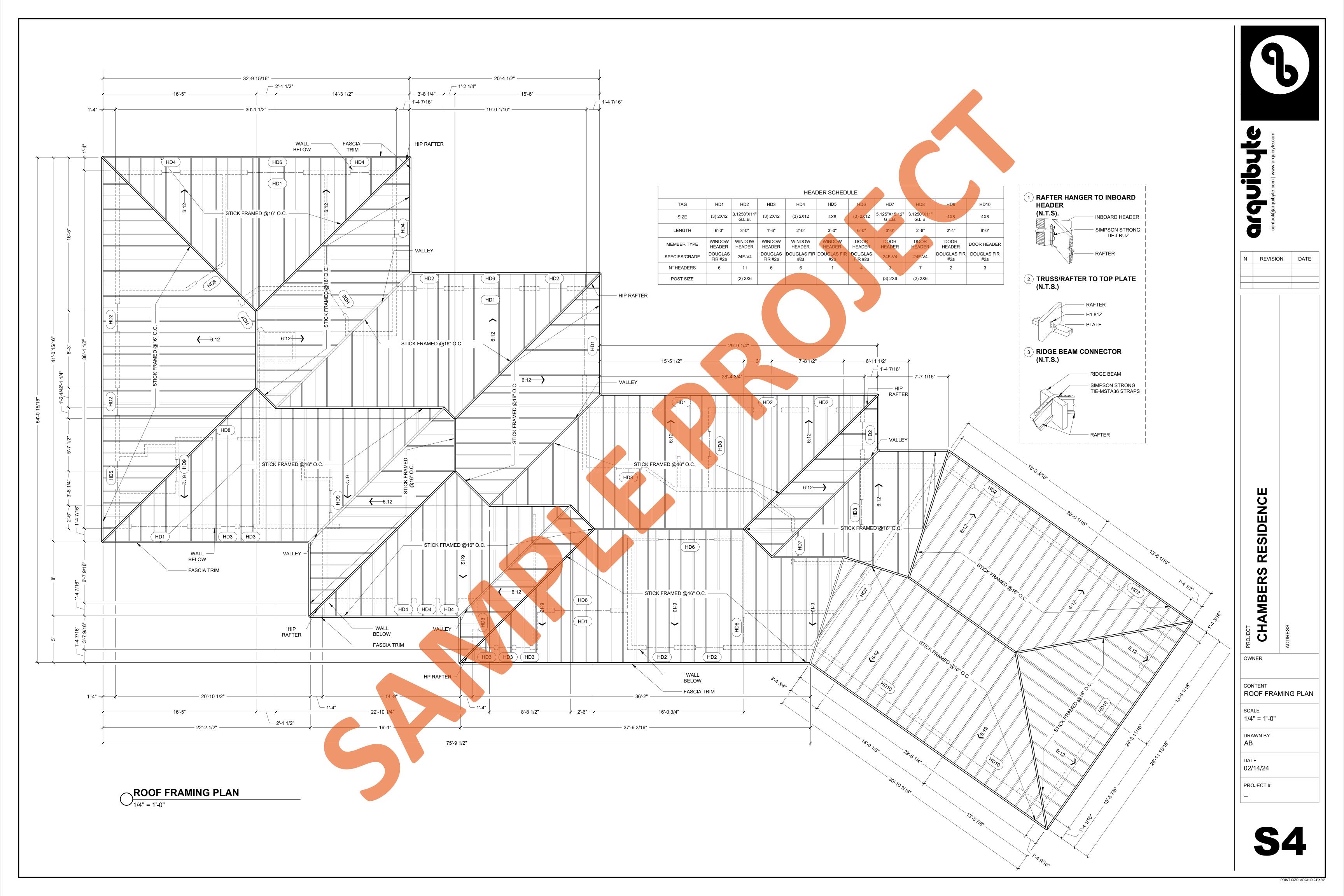


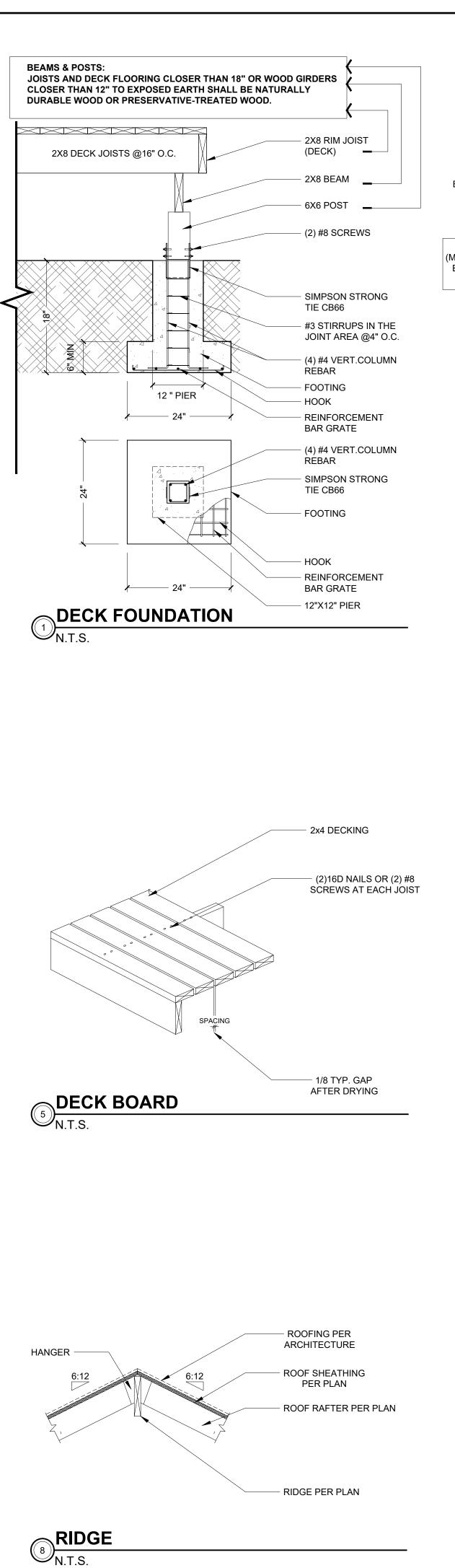


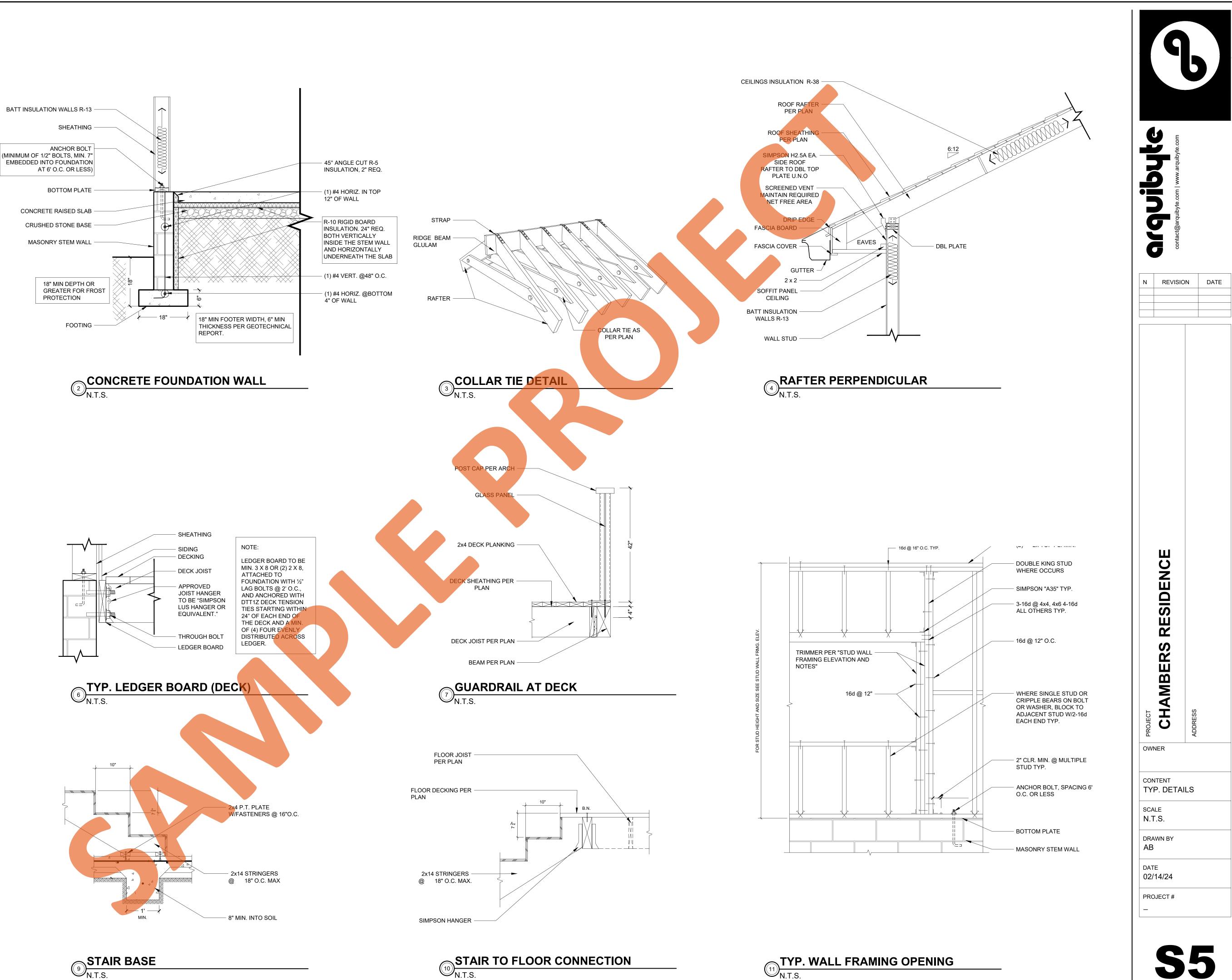


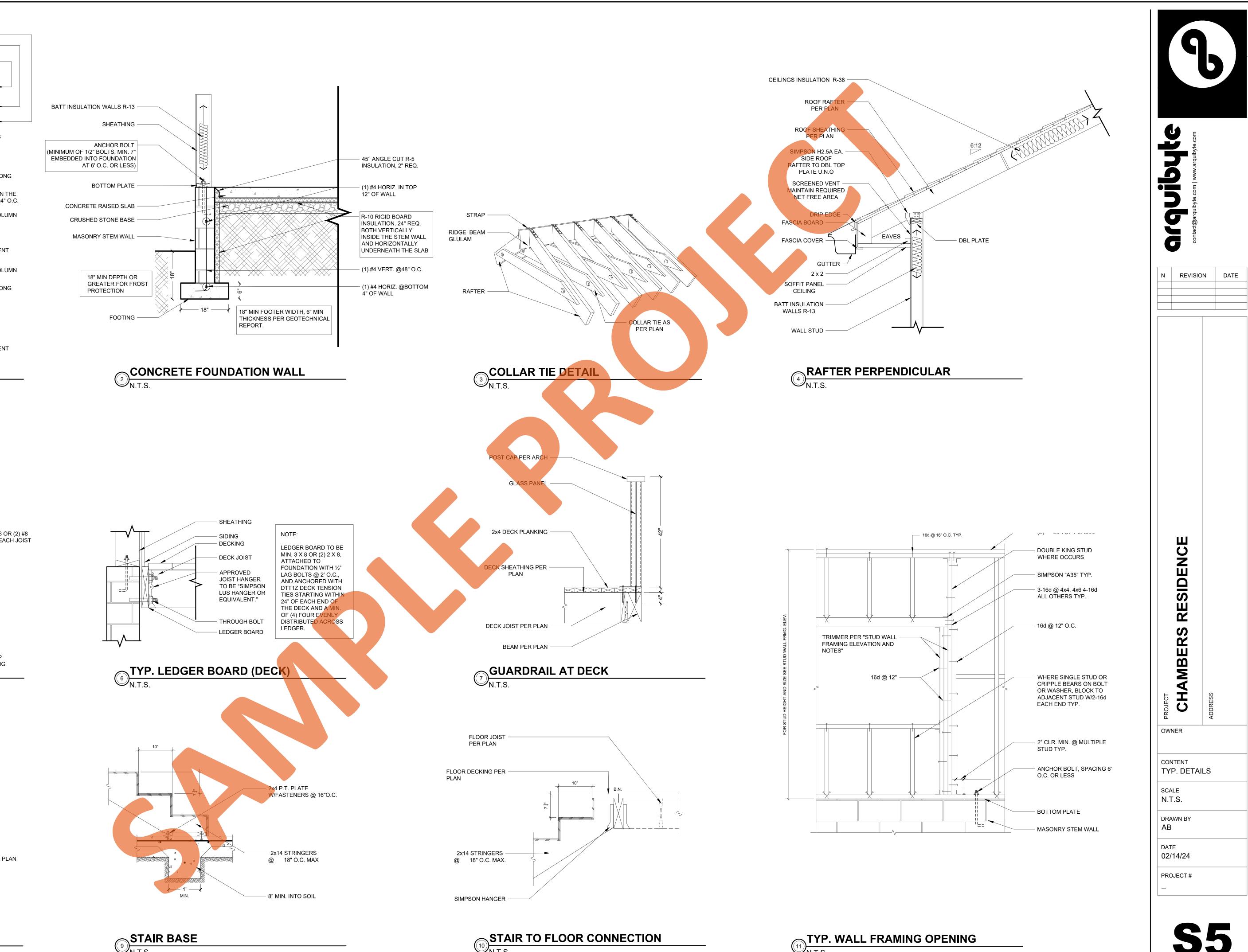












(9) STAIR BASE N.T.S.

TYP. WALL FRAMING OPENING

BUILDING CODES

CONNECT WATER GAS AND ELECTRICAL LINES TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY AND/OR COUNTY BUILDING CODES (WHICHEVER HAS PRECEDENCE) ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING

- 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL MECHANICAL CODE 2006 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL FUEL GAS CODE 2018 INTERNATIONAL PLUMBING CODE
- 2017 NATIONAL ELECTRICAL CODE MISCELLANEOUS SITE STRUCTURES, SWIMMING POOLS, SPAS,

FENCES, SITE WALLS (INCLUDING RETAINING WALLS), AND GAS STORAGE TANKS REQUIRE SEPARATE PERMITS

GENERAL

ORDINANCES.

ALL PRODUCTS LISTED WITH EVALUATION REPORT NUMBERS WILL BE INSTALLED PER THE REPORT AND MANUFACTURER'S INSTRUCTIONS. PRODUCT SUBSTITUTIONS FOR PRODUCTS LISTED WILL ALSO HAVE APPROVED EVALUATION REPORTS OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.

WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA.

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQ. FT

ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL AND PLUMBING WITH THE APPRORIATE TRADES, DRAWINGS AND SUB-CONTRACTORS PRIOR TO CONSTRUCTION JOIST HANGERS AND OTHER MISCELLANEOUS FRAMING ANCHORS

SHALL BE AS MANUFACTURED BY SIMPSON COMPANY OR OTHER MANUFACTURER WITH CURRENT APPROVAL.

OPTIONS ARE FOR CONTRACTORS CONVENIENCE, IF CONTRACTOR CHOOSES OPTIONS CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY CHANGES AND WILL COORDINATE ALL DETAILS TYPICAL DETAILS MAY NOT NECESSARILY BE CUT AT ALL APPLICABLE

LOCATIONS ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE. PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR THE CORRECTNESS

OF ALL DIMENSIONS NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL PRACTICE. WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT

WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, SPECIFICATIONS AND ALL APPLICABLE CODES, THE MOST STRINGENT REQUIREMENT SHALL GOVERN. DESIGNER MUST BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE DESIGNER'S OFFICE MUST BE NOTIFIED OF ANY VARIATIONS AND DISCREPANCIES FOR RESOLVING PRIOR TO CONSTRUCTION.

THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION, SUCH MEASURES WILL INCLUDE, BUT NOT BE LIMITED TO, BRACING AND SHORING. THE DESIGNER OR ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS OR METHODS-TECHNIQUES. SEQUENCES OR PROCEDURES OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND PROGRAMS RELATING THERETO.

THESE DOCUMENTS ARE NOT FINAL UNTIL APPROVED BY THE Y LINDER NO CIRCUMSTANCES ARE DRAWINGS THAT ARE NOT CITY APPROVED OR THAT ARE STAMPED "PRELIMINARY - NOT FOR CONSTRUCTION" TO BE ALLOWED ON THE JOB SITE FOR

ANY STRUCTURAL DESIGN, PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW. SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE IN WHICH THE PLANS ARE

CONSTRUCTION PURPOSES

SUBMITTED.

COSMETIC CRACKING AND/OR VISIBLE DEFORMATION OF WALL AND CEILING DRYWALL IS OFTEN ENCOUNTERED IN RESIDENTIAL STRUCTURES DUE TO CURRENT LOCAL CONSTRUCTION PRACTICES SUCH COSMETIC CRACKING IS RARELY RELATED TO STRUCTURAL FRAME DESIGN DEFICIENCIES. THEREFORE, DESIGNER AND ENGINEER ASSUME NO RESPONSIBILITY WHATSOEVER FOR COSMETIC CONDITIONS SUCH AS THOSE DESCRIBED ABOVE.

ADDRESS MARKING

AN ADDRESS NUMBER IS TO BE DISPLAYED IN A PROMINENT MANNER SO IT IS REASONABLY VISIBLE TO EMERGENCY VEHICLES.

ATTICS

ATTIC VENTILATION MUST COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS. (SEE ATTIC VENTILATION CALCULATIONS ON ROOF FRAMING SHEETS) PROVIDE ATTIC VENTILATION WITH SCREENED GABLE VENTS, SOFFIT VENTS, BIRD BOARD VENTS, AND ROOF VENTS AS CALLED OUT

ON PLANS AND INSTALLED PER MANUFACTURER'S WRITTEN

INSTRUCTIONS. ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES, ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT THAT PREVENTS DAMAGING OR COMPRESSING THE INSULATION. A WOOD-FRAMED OR EQUIVALENT BAFFLE OR RETAINER IS REQUIRED TO BE PROVIDED WHEN LOOSE-FILL INSULATION IS INSTALLED.

DRAINAGE REQUIREMENTS

SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION SO AS TO NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF SIX INCHES WITHIN THE FIRST 10 FT IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE SECTION R 401.3 MASONRY STEM WALL SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MINIMUM OF FOUR INCHES WHERE MASONRY VENEER IS USED AND A MINIMUM OF SIX INCHES ELSEWHERE IN ACCORDANCE WITH THE

INTERNATIONAL RESIDENTIAL CODE SECTION R404.1.6

ELECTRICAL

ELECTRICAL SERVICE SIZED PER LOAD CALCULATIONS RECEPTACLE PLACEMENT SHALL COMPLY WITH SECTION NEC SECTION 210.52

ELECTRICAL RECEPTACLES SHALL BE SPACED SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM AN RECEPTACLE

PROVIDE RECEPTACLES AT KITCHEN COUNTER EVERY 24" RECEPTACLES SHALL BE PLACED OVER ANY COUNTER 12" OR WIDER AND SHALL BE LOCATED AS SHOWN ON ELECTRICAL LAYOUT PLAN, RECEPTACLES AT KITCHEN COUNTERS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTED CIRCUIT (GECI) NEC SECTION 210.52 (c)

THE FOLLOWING RECEPTACLES SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTING CIRCUIT (GFCI ON PLANS):

RECEPTACLES LOCATED IN BATHROOMS RECEPTACLES LOCATED TO SERVE KITCHEN COUNTERTOPS RECEPTACLES LOCATED WITHIN 6'-0" OF ANY SINK RECEPTACLES LOCATED IN LAUNDRY ROOMS RECEPTACLES LOCATED IN GARAGES/CARPORTS AT GRADE LEVER RECEPTACLES LOCATED AT EXTERIOR OF BUILDING

SMOKE DETECTORS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. BE PERMANENTLY WIRED AND INTERCONNECTED. HAVE BATTERY BACKUP COMPLY WITH CODE SECTION FOR LOCATIONS AT DIFFERING CEILING HEIGHTS. **IRC SECTION R314**

BE PLACED NO MORE THAN 12" NOR LESS THAN **6" FROM CEILINGS**

BE ON EACH FLOOR LEVEL BE MOUNTED IN CLOSE PROXIMITY TO THE STAIRWAY ON UPPER FLOOR LEVEL BE 3'-0" MINIMUM AWAY FROM ANY DUCT OPENING.

SMOKE DETECTORS AT BEDROOMS TO BE MOUNTED ON CEILING, CENTERED ON BEDROOM ENTRY DOOR, AND SET 16' FROM FACE OF DOOR (LOCATION TO COMPLY WITH ALL OTHER REQUIREMENTS FOR DETECTORS)

ALL ELECTRICAL BOXES LOCATED IN GARAGE WALLS THAT ARE COMMON TO LIVABLE SPACES TO BE OF METAL OR OF U.L. APPROVED FIRE- RESISTIVE PLASTIC. RECEPTACLE BOXES LOCATED IN GARAGE CEILINGS SHALL BE METAL.

RECEPTACLE BOXES SUPPORTING A CEILING FAN MUST BE LISTED

AND APPROVED FOR THIS APPLICATION ALL SURFACE MOUNTED CEILING FIXTURES IN CLOSETS

SHALL BE 24" FROM ALL SHELVED WALLS TWO OR MORE 20 AMPERE SMALL APPLIANCE CIRCUITS WILL

BE PROVIDED TO SERVE THE KITCHEN, BREAKFAST, AND DINING ROOM. SUCH CIRCUITS SHALL HAVE NO OTHER OUT-LETS IN ACCORDANCE WITH APPLICABLE NEC REQUIREMENTS NEC SECTION 210.11(c)

ATTIC WIRING MUST BE PROTECTED WITHIN 6'-0" OF AN ATTIC ACCESS.

PER NEC SECTION 210.63

PROVIDE A SEPARATE IIOV 20 AMPERE CIRCUIT IN UTILITY/ LAUNDRY ROOM FOR WASHING MACHINE, THIS CIRCUIT TO HAVE NO OTHER RECEPTACLES AS PER APPLICABLE NEC SECTION NEC SECTION 210.11 (c)2

IF A HYDRO-MASSAGE TYPE OF TUB IS INSTALLED, A GFCI CIRCUIT IS REQUIRED PER SECTION 680 OF THE NEC EXHAUST FANS TO EXTERIOR TO PROVIDE A MINIMUM OF

5 AIR CHANGES PER HOUR. PROVIDE A RECEPTACLE WITHIN 25' OF THE MECHANICAL EQUIPMENT FOR SERVICING

ELECTRICAL PANELS, MECHANICAL EQUIPMENT, AND SERVICE DISCONNECTS REQUIRE A 30" WIDE, 36" DEEP, AND 75" HIGH CLEAR WORKING SPACE PROVIDED IN FRONT

ALL FIXTURES AT EXTERIOR OF HOUSE TO BE LISTED FOR WET LOCATIONS NEC SECTION 410.10 AND 410.96 RC SECTION E3905.

FIXED APPLIANCES REQUIRE A SEPARATE EQUIPMENT GROUNDING CONDUCTOR

RECESSED INCANDESCENT LIGHTS SHALL COMPLY WITH NEC SECTION 410.110

RECESSED LIGHT FIXTURE LOCATIONS MUST BE COORDINATED WITH THE MECHANICAL CONTRACTOR TO AVOID CONFLICTS

TELEPHONE JACKS TO BE PLACED WITHIN 12" OF AN ELECTRICAL RECEPTACLE AT ALL LOCATIONS SHOWN ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE-PHASE 15 & 20 AMP OUTLETS INSTALLED IN KITCHENS, DINING ROOMS,

FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS SUNROOMS RECREATION ROOMS LAUNDRY ROOMS UTILITY ROOMS, CLOSETS, HALLWAYS AND ALL SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION. NEC SECTION 210.12 IRC SECTION E3902.16

PROVIDE A SEPARATE 20 AMPERE BRANCH CIRCUIT AT EACH DISHWASHER OR DISPOSAL OR COMBINATION OF DISHWASHER AND DISPOSAL. THE RECEPTACLE OR RECEPTACLES WILL BE 20 AMPERE RATED. MAG AMEND. TO NEC SECTION 422

PROVIDE A SEPARATE 20 AMPERE BRANCH CIRCUIT FOR GARAGE PROVIDE A MINIMUM OF ONE 20 AMPERE BRANCH CIRCUIT TO SUPPLY THE BATHROOM RECEPTACLES - NO OTHER RECEPTACLES SHALL BE SUPPLIED BY THIS DEDICATED

NEC SECTION 210.11(c)(3) **IRC SECTION E3703.4**

ATTACHMENT PLUG IS REMOVED.

THE FLOOR.

ALL GENERAL USE 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES UNLESS NOTED **OTHERWISE** EXCEPTION: RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TO BE TAMPER RESISTANT:

RECEPTACLES LOCATED MORE THAN 5.5 FEET (1676 MM) ABOVE

2. RECEPTACLES THAT ARE PART OF A LUMINAIRE OR APPLIANCE. 3. A SINGLE RECEPTACLE FOR A SINGLE APPLIANCE OR A DUPLEX RECEPTACLE FOR TWO APPLIANCES WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCES SERVED AND, UNDER CONDITIONS OF NORMAL USE, THE APPLIANCES ARE NOT EASILY MOVED FROM ONE PLACE TO ANOTHER. IRC SECTION E4002.14

RECEPTACLES OF 15- AND 20-AMPERES, 125- AND 250-VOLTS. INSTALLED IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAF IS INSERTED AN OUTLET BOX HOOD INSTALLED FOR THIS PURPOSE SHALL BE

LISTED AND SHALL BE IDENTIFIED AS EXTRA DUTY. OTHER LISTED PRODUCTS, ENCLOSURES, OR ASSEMBLIES PROVIDING WEATHERPROOF PROTECTION THAT DO NOT UTILIZE AN OUTLET BOX HOOD NEED NOT BE MARKED EXTRA DUTY. EXCEPTION: 15-AND 20-AMPERE, 125- THROUGH 250-VOL RECEPTACLES INSTALLED IN A WET LOCATION AND SUBJECT ROUTINE HIGH-PRESSURE SPRAY WASHING SHALL BE PERMIT HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHEN THE

ALL 15- AND 20-AMPERE, 125- AND 250-VOLT NONLOCKING-TYPE RECEPTACLES SHALL BE LISTED AND SO IDENTIFIED AS THE WEATHER-RESISTANT TYPE. NEC SECTION 406.9(B)(1)

ALL IC-RATED RECESSED LIGHTING FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED AT HOUSING/INTERIOR FINISH TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES IECC NI 102.4.5

NOT LESS THAN 90% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS IECC NI 104.1

10,000 A/C AMPS UNLESS PROJECT WARRANTS OTHERWISE. VERIFY WITH UTILITY COMPANY SINGLE PHASE POWER.

ELECTRICAL GROUNDING

ALL INTERIOR METALLIC WATER AND/OR GAS PIPING WHICH MAY BECOME ENERGIZED WILL BE BONDED TOGETHER AND MADE ELECTRICALLY CONTINUOUS. A BOND (BARE COPPER NO. 4 WIRE) SHALL BE MADE BETWEEN THE BONDED PIPING SYSTEM, THE GROUNDING ELECTRODE CONDUCTOR AND THE SERVICE EQUIPMENT ENCLOSURE GROUNDING BUSS.

PROVIDE A MINIMUM OF 20' OF BARE OR ZINC GALVANIZED

OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS NOT LESS THAN 1/2" DIAMETER, OR BARE COPPER CONDUCTOR, NOT SMALLER THAN #4 AWG, ENCASED BY AT LEAST 2" OF CONCRETE AND LOCATED WITHIN AND AT THE BOTTOM OF A CONCRETE FOUNDATION FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH CONDUCTOR TO BE SET A MINIMUM OF 12" BELOW FINISHED GRADE. TELEPHONE SERVICE SHALL BE GROUNDED PER ARTICLE 800

EXTERIOR MATERIAL

EXTERIOR STUCCO FINISH

OF THE NEC

FLASHING

PROVIDE 30 LB FELT BUILDING PAPER AS FLASHING AT ALL HEADS, JAMBS AND SILLS OF WINDOW AND DOOR OPENING. FLASH HORIZONTAL AND/OR SLOPED AREAS AND 6"

OF VERTICAL WALL SURFACE AROUND OPENINGS PROVIDE CONTINUOUS SEALANT WHERE STUCCO ABUTS WINDOW AND DOOR FRAMES SO AS TO PROVIDE A WEATHER-RESISTANT BARRIER.

GLAZING

SAFETY GLAZING SHALL COMPLY WITH CODE SECTIONS LISTED BELOW AS THEY APPLY: **IRC SECTION R308**

ALL GLASS LISTED BELOW TO BE TEMPERED. IN DOORS WITH LEAST DIM. GREATER THAN 3'. IN FRENCH OR SLIDING DOORS IN TUB AND/OR SHOWER ENCLOSURES. IN HAZARDOUS AREAS. LESS THAN 40" FROM A LOCKABLE DEVICE.

LESS THAN 18" FROM THE FLOOR WITHIN A 24" ARC OF AN ACTIVE DOOR. ALL EGRESS WINDOWS SHALL MEET CODE REQUIREMENTS: 20" MIN WIDTH 24" MIN HEIGHT, 5.7 SQUARE FEET TOTAL, MAX. 44" SILL

IRC SECTION R310 SKYLIGHTS WILL CONFORM TO ESR-4108 OR EQUAL.

ALL EXTERIOR WINDOWS FROM HABITABLE SPACES TO BE MINIMUM DOUBLE PANE.

ALL OPERABLE WINDOWS WILL BE WEATHER STRIPPED AND AIRTIGHT IN ACCORDANCE WITH ASTM E-283-84-T. STANDARD PERIMETER WINDOW FRAMES WILL BE SEALED TO AIRTIGHT SPECIFICATIONS.

INSULATION

MINIMUM INSULATION WILL BE PROVIDED ADJACENT TO HABITABLE AREAS AS FOLLOWS:

R-38 AT CEILINGS R-19 AT EXTERIOR FRAME WALLS

INTERIOR MATERIAL

PROVIDE 1/2" GYPSUM BOARD INTERIOR FINISH THROUGHOUT UNLESS NOTED OTHERWISE. 1/2 GYPSUM BOARD INSTALLED AS INTERIOR FINISH AT CEILINGS TO BE SAG-RESISTANT

PROVIDE 5/8" TYPE "X" DRYWALL ONLY IN AREAS SPECIFICALLY MENTIONED ON THE PLANS. INSTALL DRYWALL ON WALLS AND CEILINGS ONLY

AFTER DEAD LOAD HAS BEEN PLACED ON ROOF. SHOWER WALLS SHALL BE COVERED WITH CULTURED MARBLE, CERAMIC TILE, OR EQUAL FINISH TO A MINIMUM HEIGHT OF 72 INCHES ABOVE THE DRAIN CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM BOARD SHALL BE USED AS BACKERS FOR THESE FINISHES AND SHALL BE INSTALLED IN ACCORDANCE

WITH THE MANUFACTURER'S RECOMMENDATIONS. KITCHEN AND BATH CEILINGS WILL BE PAINTED IN ENAMEL. ALL INTERIOR DOORS TO BE 6-8" HIGH. 1-3/8"

HOLLOW CORE, UNLESS NOTED OTHERWISE. ALL EXTERIOR SIDE HINGED DOORS SHALL BE SOLID-CORE WOOD OR INSULATED HOLLOW METAL OR FIBERGLASS OF AT

LEAST 1-3/4" THICK AND FULLY WEATHER STRIPPED.

MECHANICAL

TOTAL LENGTH OF CLOTHES DRYER VENT IS LIMITED TO 35'-0" MAXIMUM COMBINED HORIZONTAL AND VERTICAL LENGTH ALL APPLIANCES INSTALLED IN GARAGE, OR ACCESSIBLE FROM

INSIDE OF GARAGE, SHALL BE FVIR RATED ALL FANS EXHAUSTING TO THE EXTERIOR WILL BE CAPABLE

OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE ROOM WHERE THEY ARE LOCATED. POINT OF DISCHARGE OF EXHAUST AIR WILL BE AT LEAST 3'-0" FROM ANY OPENING INTO BUILDING. PROVIDE A PERMANENT ELECTRICAL RECEPTACI E AND LIGHT EIXTURE IN ATTIC AREAS AT HVAC THAT REQUIRES SERVICING CONTROLLED BY A SWITCH AT THE ACCESS OPENING. PROVIDE 24" WIDE, 1/2" CDX PLYWOOD CATWALK TO ATTIC

HVAC EQUIPMENT WITH 5'x3' PLATFORM AT AIR HANDLER VERIFY WITH MECHANICAL CONTRACTOR.

ALL EXTERIOR WALL PENETRATIONS BY PIPES, DUCTS, OR CONDUITS SHALL BE CAULKED

PLUMBING

WATER CLOSETS SHOWERS LAV.FAUCETS KITCHEN SINK BAR SINK HOSE BIB

1.60 GALLONS PER FLUSH MAX 2.50 GALLONS PER MINUTE MAX 2.20 GALLONS PER MINUTE MAX 2.20 GALLONS PER MINUTE MAX 2.20 GALLONS PER M JTE MAX 3.00 GALLONS PER MIN ΓΕ ΜΑΧ

PER IPC TABLE 604.4 FIXTURE WILL BE MARKED AS TO ITS FLOW RATE OR WITH A VERIEIABLE MODEL NUMBER AT THE TIME OF INSPECTION

MECHANICAL SYSTEM PIPING TO BE INSULATED R-2 HOT WATER SHALL BE THE LEFT FITTING AT ALL FAUCETS PROVIDE ALL HOSE BIBS WITH BACKFLOW PREVENTERS.

ALL DISHWASHERS TO HAVE AIR GAPS INSTALLED. PROVIDE WATER HEATER WITH TEMP/PRESSURE RELIEF VALVE.

DRAIN LINE TO TERMINATE IN A DOWNWARD POSITION A MINIMUM OF

PING FOR WATER SUPPLY LINES INTERIOR OF THE TO BE APPROVED COPPER OR CROSS-LINKED

(LENE (CONTRACTOR'S OPTION)

ALL CROSSLINKED POLYETHYLENE TUBING USED IN WATER PIPING ABOVE THE FLOOR SLAB TO BE "AQUAPEX" OR APPROVED FOUAL

LL COPPER TUBING USED IN WATER PIPING UNDER THE LOOR SLAB MUST BE TYPE L MINIMUM WEIGHT, INSTALLED WITHOUT JOINTS.

ALL COPPER TUBING USED IN WATER PIPING ABOVE THE FLOOR SLAB MUST BE TYPE M MINIMUM WEIGHT. ALL ABS AND PVC USED IN DWV SYSTEMS MUST BE SCHEDULE 40

SEAL ALL VOIDS AROUND PENETRATIONS THROUGH ON GRADE CONCRETE FLOOR SLABS SOLDERS AND FLUX HAVING A LEAD CONTENT IN EXCESS

OF TWO TENTHS OF ONE PERCENT SHALL NOT BE USED IN THE INSTALLATION OR REPAIR OF ANY PLUMBING IN RESIDENTIAL OR NONRESIDENTIAL FACILITIES PROVIDING WATER FOR HIJMAN CONSUMPTION WHICH ARE CONNECTED TO PUBLIC WATER SYSTEMS (A.R.S. SEC. 49-353 AND A.R.S. SEC. 49-353 IRC SECTION P2905.14

PROVIDE A THERMAL EXPANSION TANK AT THE WATER HEATER IF A BACKFLOW PREVENTER IS ON THE WATER LINE. PROVIDE WATER SHUTOFF VALVES IN ACCORDANCE

IRC SECTION P2903.9 PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROL VALVES FOR ALL SHOWER AND TUB-SHOWER COMBINATIONS

CENTER OF WATER CLOSETS SHALL BE LOCATED A MINIMUM OF 15' FROM VERTICAL SURFACES AT SIDES - SEE FLOOR PLAN.

WITH APPLICABLE CODE SECTION

IRC SECTION P2708.3

PROVIDE "P" TRAP AND AIR VENT FOR CONDENSATION LINES.

NO PLASTIC PIPE OR REFRIGERATION LINE INSULATION SHALL PENETRATE ANY FIRE-RATED WALL

AT JACUZZI TYPE TUBS: PROVIDE REMOVABLE PANEL OF SUFFICIENT SIZE TO ACCESS PUMP. LOCATION PER FLOOR PLAN. CIRCULATION PUMP SHALL BE LOCATED ABOVE THE CROWN WEIR OF THE TRAP. PUMP AND CIRCULATION PIPING SHALL BE SELF DRAINING. SUCTION FITTINGS SHALL COMPLY WITH LISTED STANDARDS.

PROVIDE G.F.C.I. RECEPTACLE FOR JACUZZI PUMP ALL GECLRECEPTACLES ON SIDE WALLS ADJACENT TO LAVS TO BE LOCATED AT FRONT EDGE OF LAV. GANG WITH OR STACK BELOW

SWITCHES WHERE OCCURS. GFCI CIRCUITS FOR BATHROOMS TO BE 20A. WITH NO OTHER RECEPTACLES.

THE FLOW VELOCITY OF THE WATER DISTRIBUTION SYSTEM SHALL BE CONTROLLED TO REDUCE THE POSSIBILITY OF WATER HAMMER. WATER-HAMMER ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. WATER-HAMMER ARRESTORS SHALL CONFORM TO ASSE 1010. PER IRC SECTION P2903.5

PROVIDE HOT WATER RE-CIRCULATING SYSTEM PER CODE

ROOFING

ASPHALT SHINGLE SYSTEM INSTALL PER EVALUATION REPORT, MANUFACTURER'S WRITTEN INSTRUCTIONS, AND APPLICABLE CODE REQUIREMENTS: ICC. SECTION 15.(ROOF ASSEMBLIES) PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND

EVALUATION REPORT TO INSPECTOR AT TIME OF INSPECTION SEE TECHNICAL SPECIFICATIONS IN SHEET N4

SECURITY

EXTERIOR DOORS WILL COMPLY WITH ALL PROVISIONS OF APPLICABLE BUILDING CODE

ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE. MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED AT A DOOR OR THE ACTIVE LEAF OF A PAIR OF DOORS

DEVICES WILL NOT BE INSTALLED IN A MANNER TO PREVENT PROPER EGRESS THROUGH DOORS OR BEDROOM WINDOWS AS SPECIFIED IN APPLICABLE CODE SECTION. IRC SECTIONS R310 AND R311

ALL OPERABLE OPENINGS IN EXTERIOR WALLS IN THE ROOF LESS THAN 16 FEET ABOVE GRADE OR ADJACENT TO A ROOF SURFACE, BALCONY, STAIR LANDING, OR SIMILAR STRUCTURE SHALL BE PROVIDED WITH SECURITY DEVICES TO PREVENT UNLAWFUL ENTRY FROM THE OUTSIDE.

EXTERIOR DOORS

DOORS FROM A DWELLING UNIT TO AN ATTACHED GARAGE ARE ALSO CONSIDERED EXTERIOR DOOR ALL MAIN OR FRONT ENTRY DOORS MUST HAVE A 180 DEGREE DOOR VIEWER OR BE ARRANGED SO THAT TH

OCCUPANT CAN VIEW THE IMMEDIATE AREA OUTSIDE THE DOOR THROUGH A WIN

ALL EXTERIOR SWINGIN OORS WILL BE OF SOLID CORE OR METAL SKIN CONSTRUCTION, EXTERIOR GLAS DOORS WILL BE OF SOLID CORE OR METAL SKIN IN

NON-GLAZED PORT SOLID CORE DOORS WILL BE 1-3/4" THICK MIN.

WOOD FLUSH DOORS WILL BE 1-3/4" THICK MIN. WOOD PANEL DOORS WILL BE 1-3/4" THICK MIN. WITH PANELS FABRICATED FROM MATERIALS NOT LESS TH

NELS ARE NOT LESS THAN 1/4" THICK. ROUS METAL DOORS OF SOLID OR HOLLOW (CONSTRUCTION WILL HAVE SURFACES NOT LESS THAN

HICKNESS: PROVIDED ALL SHAPED PORTIONS OF

24 GAUGE IN THICKNESS. ORS SHALL HAVE SURFACES NOT LESS THAN THE METAL D EQUIVALENT OF 16 GA. SHEET METAL (0.006) IN THICKNESS.

> EN THE GARAGE AND RESIDENCE SHALL BE PED WITH SOLID WOOD DOORS NOT LESS THAN I 3/8" OR SHALL BE 20-MINUTE FIRE-RATED DOORS AND SHALL AINED SELF-CLOSING AND SELF-LATCHING.

HINGES

PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED WILL HAVE NON-REMOVABLE HINGE PINS OR WILL HAVE HINGES SHAPED TO PREVENT REMOVAL OF THE DOOR OR

WILL HAVE TOP AND BOTTOM HINGES WITH 1/4" STEEL JAMB STUDS WHICH PROJECT A MINIMUM OF 1/4

DEADBOLTS

A DEADBOLT LOCK WILL BE PROVIDED ON ALL EXTERIOR SWINGING DOORS AND DOORS FROM THE DWELLING TO AN ATTACHED GARAGE. MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.

DEADBOLTS SHALL BE HARDENED OR CONTAIN HARDENED

INSERTS AND FASTENERS WHICH THREAD INTO THE CYLINDER BODY. STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" INTO A HOLE THAT EXCEEDS BOLT THROW BY MINIMUM OF 1/4".

A HOOK-SHAPED OR EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4" JAMBS WILL BE SHIMMED SOLID FOR SIX CINCHES ABOVE

AND BELOW THE DEADBOLT LOCK STRIKE PLATE. STRIKE PLATES WILL BE SECURED TO THE JAMB WITH A MIN.OF TWO SCREWS NOT LESS THAN #8 AND 2" IN LENGTH

CYLINDER GUARDS WILL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.

SLIDING DOORS AND WINDOWS WILL BE PROVIDED WITH A LOCKING DEVICE AND WILL BE CONSTRUCTED AND INSTALLED OR EQUIPPED WITH A DEVICE SO AS TO PROHIBIT THE RAISING AND REMOVING OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED AND LOCKED POSITION.

EXTERIOR SLIDING DOORS MUST BE EQUIPPED WITH AN AUXILIARY NON-KEYED LOCK. THE STATIONARY SECTION WILL NOT BE REMOVABLE FROM THE OUTSIDE.

WINDOW PANELS WILL HAVE WEATHERS STRIP MOLDING OR GLAZING BEAD WHICH IS NOT EASILY REMOVED FROM THE OUTSIDE AN AUXILIARY LOCK WILL BE INSTALLED ON ALL WINDOW TRACKS TO ALLOW THE WINDOW TO BE LOCKED PARTIALLY OPEN.

UPWARD ACTING DOORS AND SLIDING DOORS OTHER THAN GLASS SHALL BE SECURED WITH A CYLINDER LOCK. AND FITHER A PADI OCK WITH HARDENED STEEL SHACKLE OR EQUIVALENT DEVICE, UNLESS SECURED BY ELECTRIC POWER OPERATION.

WINDOW OPENINGS ARE PROHIBITED WITHIN 40 OF THE LOCKING DEVICE OF A DOOR IN THE CLOSED POSITION WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, 40 IS NOT REQUIRED IF IMPACT RESISTANT GLAZING IS USED.

EMERGENCY ESCAPE ROUTE SHALL LEAD TO A PUBLIC

SOILS REFER TO TH BY THE CLIEN

TO SITE PRE SOIL BEARIN BACKFILLING SOILS REPOR CLIENT ASSUI DESIGN FOR WITH SOILS F DESIGNER A CONDITIONS PROVIDE TER CONTROL CC

MINIMUM

2% ABOV FLOO TY FO

BLOCKING

IRC SECTION R302 AND RG02

ALL ROOF AND FLOOR SHEATHING WILL BE NAILED TO BLOCKING SHOWN IN DETAILS. PREBLOCKING IS REQUIRED IN THE FOLLOWING LOCATIONS .). CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING PURRED SPACES AT CEILING AND FLOOR

- STRINGERS

PER IRC SECTIONS R602.8, 302, and R1005

AB A/C ADC AFF AB ALT BATT BD BLDG BLK BLKG CL CLG CLO CLR CONC.

T&P DRAIN LINE TO BE FULL SIZE STEEL PIPE OR HARD DRAWN COPPER 6" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE. DRAIN LINE SHALL BE SLOPED AND SUPPORTED AT 32" O.C. MAXIMUM AND BE A MINIMUM OF THREE FEET AWAY FROM ALL DOORS.

	WOOD FRAMING
E MOST CURRENT SOILS REPORT PROVIDED IT FOR ALL RECOMMENDATIONS PERTAINING PARATION.	EXTERIOR STUD WALLS TO BE #2 OR BETTER DOUGLAS FIR 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE ON PLANS.
G CAPACITY, COMPACTION, ENGINEERED FILL , ETC., ARE ALL TO BE PERFORMED PER PROJECT	INTERIOR STUD WALLS TO BE #2 OR BETTER DOUGLAS FIR 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE ON PLANS.
T PLUS ANY ADDITIONAL SUPPLEMENTS. MES FULL RESPONSIBILITY FOR FOUNDATION FAILURE TO PROVIDE DESIGNER AND ENGINEER	ANCHOR BOLTS WILL BE 1/2" DIAMETER x 10" LONG AND SHALL BE PROVIDED WITH A PROPERLY SIZED NUT AND A 2" DIAMETER WASHER. ANCHOR BOLTS SHALL HAVE A 7 MINIMUM EMDEDMENT.
SUMES NO LIABILITY FOR SOIL	ANCHOR BOLTS SHALL BE PLACED AT A MAXIMUM OF 4'-0" ON CENTER AND A MAXIMUM OF 12 FROM ALL PLATE ENDS, BREAKS, AND CORNERS.
EMITE PROTECTION PER THE STRUCTURAL PEST MMISSIONS RECOMMENDATIONS AND BULLETIN 64.	ALL BOTTOM PLATES AT EXTERIOR OR INTERIOR WALLS THAT ARE IN CONTACT WITH THE FOUNDATION WALLS, TURNDOWN EDGES, CONCRETE SLAB, OR ANY OTHER PART OR PORTION OF THE FOUNDATION, SHALL BE PRESSURE TREATED LUMBER.
SHED FLOOR ELEVATION WILL BE 12" PLUS IE STREET GUTTER DISCHARGE POINT. I GRADE AWAY FROM STRUCTURE AT 5% FOR A 10 TO AN APPROVED WATER DIAPOSAL AREA	USE DOUBLE STUDS UNDER ALL BEARING POINTS OF GIRDERS. BEAMS, AND BEARING HEADERS OF 8'-0" IN LENGTH OR MORE, UNLESS OTHERWISE NOTED ON PLANS.
REPORT-BUILDING OFFICIALS DISCRETION RELEVATION (AS-BUILT WILL DE CERTIFIED BY RTHE FEDERAL EMERGENCY MANAGEMENT	EXTERIOR AND INTERIOR WALL BRACING AND SHEAR WALLS TO BE AS PER ENGINEER'S DESIGN AS SHOWN ON ENGINEER'S DRAWINGS. NO PERMANENT WALL BRACING OTHER THAN THAT SHOWN AND DESIGNATED ON PLAN IS REQUIRED.
I ITEM.AJ WHERE REQUIRED	DO NOT NOTCH OR DRILL JOISTS, BEAMS OR LOAD-BEARING STUDS WITHOUT PRIOR APPROVAL OF THE DESIGNER.

ENERGY CONSERVATION

THE BUILDING THERMAL ENVELOPE SHALL BE SEALED AND MUST: BE IMPERMEABLE TO AIR FLOW BE CONTINUOUS OVER THE ENTIRE BUILDING ENVELOPE. BE DURABLE OVER THE EXPECTED LIFETIME OF THE BUILDING HAVE ALL SEAMS AND EDGES SEALED/TAPED PER MANUFACTURER'S SPECIFICATIONS.

MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUID ABOVE 105° F OR BELOW 55° F SHALL BE INSULATED TO MINIMUM R-2. ALL SUPPLY AND RETURN DUCTS SHALL BE INSULATED TO A MINIMUM OF R-6.

ALL DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES (NOT FOR SUPPLY AIR) USED AS DUCTS SHALL BE SEALED. JOINTS OF DUCT SYSTEMS SHALL BE MADE SUBSTANTIALLY AIRTIGHT BY MEANS OF TAPES, MASTICS, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS.

ALL OUTDOOR AIR INTAKES AND EXHAUSTS SHALL BE PROVIDED WITH DAMPERS (AUTOMATIC OR GRAVITY) TO EFFECTIVELY CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.

GAS APPLIANCES

PROPANE TANK: APPLIANCES TO BE GAS ARE FIREPLACE ONLY.

ALL BLOCKING WILL COMPLY WITH ALL REQUIREMENTS OF THE FOLLOWING CODE SECTIONS AS APPLICABLE

B). HORIZONTALLY AT INTERVALS NOT EXCEEDING 10-0" C). CALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT DROP CEILINGS, SOFFITS, AND COVE CEILINGS D). BETWEEN STAIR STRINGERS IN TOP AND BOTTOM OF RUN AND BETWEEN STUDS ALONG AND IN UNE WITH THE

E). OPENINGS AROUND PIPES, DUCTS, VENTS, AND CHIMNEYS WITH NONCOMBUSTIBLE MATERIALS (SUCH AS UNFACED FIBERGLASS INSULATION)

F). PAT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY BUILT CHIMNEYS

TYPICAL ABBREVIATIONS

CPT	CARPET	HDW	HARDWARE	RO	ROUGH OPENING
CTR	CENTER	HT	HEIGHT	STN	STONE VENEER
CTSK	COUNTERSINK	HVAC	HEATING, VENTILATION & AIR CONDITIONING	SIM	SIMILAR
DED	DEDICATED	LTBD	LOCATION TO BE DETERMINED	SYM	SYMBOL OR SYMMETRICAL
DIA	DIAMETER	MX	MAXIMUM	T&B	TOP AND BOTTOM
DIM	DIMENSION	MIN	MINIMUM	TEMP	TEMPERED OR TEMPORARY
DN	DNDOWN	MTL	METAL	то	TOP OF
DW	DISHWASHER	NTS	NOT TO SCALE	TOD	TOP OF DECK
EA	EACH	OBS	OBSCURE	TOS	TOP OF SLAB
EXT	EXTERIOR OR EXTENSION	OC	ON CENTER	TOW	TOP OF WALL
FF	FINISHED FLOOR	OPP	OPPOSITE	TYP	TYPICAL
FDN	FOUNDATION	OPT	OPTIONAL	UNO	UNLESS NOTED OTHERWISE
FLR	FLOOR	OSB	ORIENTED STRAND BOARD	VERT	VERTICAL
FO	FACE OF	PL	PLATE	VIF	VERIFY IN FIELD
FOC	FACE OF CONCRETE	PT	PRESSURE TREATED	W/	WITH
FOF	FACE OF FINISH	PWD	PLYWOOD	WD	WOOD
FOS	FACE OF STUD	QTY	QUANTITY	WH	WATER HEATER
GYP	GYPSUM	REQD	REQUIRED	W/O	WITHOUT
GYP BD	GYPSUM BOARD (SHEETROCK)	RM	ROOM	WP	FIXTURE RATED FOR WET LOCATIONS
	CTR CTSK DED DIA DIM DN DW EA EA EXT FF FDN FLR FO FOC FOC FOF FOS GYP	CTRCENTERCTSKCOUNTERSINKDEDDEDICATEDDIADIAMETERDIADIAMETERDIMDIMENSIONDNDNDOWNDWDISHWASHEREAEACHEXTEXTERIOR OR EXTENSIONFFFINISHED FLOORFDNFOUNDATIONFLRFLOORFOCFACE OFFOFFACE OFFOFFACE OF STUDGYPGYPSUM BOARD	CTRCENTERHTCTSKCOUNTERSINKHVACDEDDEDICATEDLTBDDIADIAMETERMXDIMDIMENSIONMINDNDNDOWNMTLDWDISHWASHERNTSEAEACHOBSEXTEXTERIOR OR EXTENSIONOCFFFINISHED FLOOROPPFDNFOUNDATIONOPTFLRFLOOROSBFOCFACE OF CONCRETEPLFOFFACE OF FINISHPWDFOSFACE OF STUDQTYGYP BDGYPSUM BOARDPM	CTRCENTERHTHEIGHTCTSKCOUNTERSINKHVACHEATING, VENTILATION & AIR CONDITIONINGDEDDEDICATEDLTBDLOCATION TO BE DETERMINEDDIADIAMETERMXMAXIMUMDIMDIMENSIONMINMININIMUMDNDNDOWNMTLMETALDWDISHWASHERNTSNOT TO SCALEEAEACHOBSOBSCUREEXTEXTERIOR OR EXTENSIONOCON CENTERFFFINISHED FLOOROPPOPPOSITEFDNFOUNDATIONOPTOPTIONALFIRFLOOROSBORIENTED STRAND BOARDFOFACE OFPLPLATEFOFFACE OF STUDQTYQUANTITYGYPGYPSUM BOARDPMPLOMGYPSUM BOARDPMPLOM	CTRCENTERHTHEIGHTSTNCTSKCOUNTERSINKHVACHEATING, VENTILATION & AIR CONDITIONINGSIMDEDDEDICATEDLTBDLOCATION TO BE DETERMINEDSYMDIADIAMETERMXMAXIMUMT&BDIMDIMENSIONMINMINIMUMTEMPDNDNDOWNMTLMETALTODWDISHWASHERNTSNOT TO SCALETODEXTEXTERIOR OR EXTENSIONOCON CENTERTVPFFFINISHED FLOOROPPOPPOSITETYPFDNFOUNDATIONOPTOPTIONALUNOFLRFLOOROSBORIENTED STRAND BOARDVERTFOCFACE OFPLPLATEVIFFOGFACE OF FINISHPWDPLYWOODWDFOSFACE OF STUDQTYQUANTITYWHGYP BDGYPSUM BOARDREQDREQUIREDW/O

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